



SPECIAL USE REPORT

▶ **FILE #:** 3-E-26-SU

AGENDA ITEM #: 15

AGENDA DATE: 3/5/2026

▶ **APPLICANT:** JOSH BRADEN

OWNER(S): Danilo Vasquez

TAX ID NUMBER: 93 I D 031, 032, 03201

[View map on KGIS](#)

JURISDICTION: City Council District 3

STREET ADDRESS: 2704 KNOTT RD (0, 2710 KNOTT RD)

▶ **LOCATION:** Northeast side of Knott Rd, northwest side of Woodglen Dr, southeast side of Knoxwood Dr

▶ **APPX. SIZE OF TRACT:** 0.76 acres

SECTOR PLAN: Northwest City

GROWTH POLICY PLAN: N/A (Within the City limits)

ACCESSIBILITY: Access is via Knott Road, an unstriped local street with 11-17 ft of pavement width within a right-of-way width that varies from 30-34 ft. Access is also via Knoxwood Drive, a dead-end local road with 15-20 ft pavement width within a right-of-way width of 43 ft.

UTILITIES: Water Source: Knoxville Utilities Board

Sewer Source: Knoxville Utilities Board

FIRE DISTRICT: Knoxville Fire Department

WATERSHED: Third Creek

▶ **ZONING:** RN-2 (Single-Family Residential Neighborhood), HP (Hillside Protection Overlay)

▶ **EXISTING LAND USE:** Agriculture/Forestry/Vacant Land

▶ **PROPOSED USE:** Three two-family dwellings on individual lots

HISTORY OF ZONING: In 1983 the property was part of a larger rezoning from R-2 (General Residential) to R-1A (Low Density Residential) (11-L-83-RZ).

SURROUNDING LAND USE AND ZONING: North: Single family residential - RN-2 (Single-Family Residential Neighborhood), HP (Hillside Protection Overlay)

South: Single family residential - RN-2 (Single-Family Residential Neighborhood)

East: Single family residential - RN-2 (Single-Family Residential Neighborhood), HP (Hillside Protection Overlay)

West: Wholesale, industrial - I-G (General Industrial), HP (Hillside Protection Overlay)

NEIGHBORHOOD CONTEXT: The subject property is in an area that predominantly features single family houses, duplexes, and vacant land near railroad tracks that run approximately 600 feet to the southeast. There is a large industrial and wholesale park directly to the west and south concentrated near the railroad

STAFF RECOMMENDATION:

- ▶ **Approve the request for three two-family dwellings on individual lots as depicted on the site plan, subject to 3 conditions.**
 - 1) Meeting all applicable requirements of the City of Knoxville Zoning Ordinance, including, but not limited to, maximum impervious surface coverage requirements.
 - 2) Meeting all applicable requirements of the City of Knoxville Engineering Department.
 - 3) Meeting all applicable requirements of the City of Knoxville Plans Review and Inspections Department.

COMMENTS:

This request is for three two-story duplexes on individual lots, each facing Knott Avenue. The westernmost duplex is accessed from Knoxwood Drive and the other two structures are accessed from Knott Road. The structures are essentially identical, but the two corner units are mirrored to meet the relevant principal use standards related to street facing elevations. They have a footprint of 1,887 sq ft, with one bedroom on the ground floor and two on the second floor.

STANDARDS FOR EVALUATING A SPECIAL USE (ARTICLE 16.2.F.2)

1) THE USE IS CONSISTENT WITH ADOPTED PLANS AND POLICIES, INCLUDING THE GENERAL PLAN AND THE ONE-YEAR PLAN.

- A. The proposed use is consistent with the General Plan's Development Policy 8.1, which encourages growth in the existing urban area through infill housing opportunities.
- B. The General Plan's Development Policy 8.4 recommends protecting residential areas from encroaching commercial development and other incompatible uses. There are warehousing and industrial uses across the street, and the proposed duplexes will provide a buffer for the single-family neighborhood to the north.
- C. Three two-family dwellings, which are considered low-density residential use, are consistent with the One Year Plan's and Northwest City Sector Plan's LDR (Low Density Residential) land use classification.

2) THE USE IS IN HARMONY WITH THE GENERAL PURPOSE AND INTENT OF THIS ZONING CODE.

- A. The RN-2 district is intended to accommodate low density single-family residential development on relatively small lots with smaller setbacks. Two-family dwellings may be allowed by special use approval.
- B. The RN-2 district requires a minimum lot size of 10,000 sq ft for two-family dwellings, and the subject lots meet this requirement. The site plan and building elevations as provided conform to most of the dimensional standards (Article 4.3) and the Principal Use Standards (Article 9.3.J) for duplexes in the RN-2 district. For example, each elevation facing a street (Knott Avenue, Woodglen Drive, and Knoxwood Drive) meets the 15% minimum transparency requirements and includes architectural elements to avoid the appearance of blank walls.
- C. Lot 1R-R2 (the middle lot) does not appear to meet the maximum impervious surface coverage of 40%. However, this can be addressed during permitting by using permeable materials for the paved area.
- D. The two westernmost lots have the HP overlay, and the slope analysis recommends a maximum disturbance budget of 49.7% for Lot 1R-R1 (the westernmost lot) and 46.1% for Lot 1R-R2 (the middle lot). However, these properties have been previously disturbed and are therefore exempt from the HP regulations per Article 8.9.B.4.

3) THE USE IS COMPATIBLE WITH THE CHARACTER OF THE NEIGHBORHOOD WHERE IT IS PROPOSED, AND WITH THE SIZE AND LOCATION OF BUILDINGS IN THE VICINITY.

- A. The Glenwood Park neighborhood is bordered by several warehousing and industrial uses on two sides and is primarily composed of single-family dwellings, with the exception of one duplex, one small-scale multifamily development, a church, and an automotive service. The proposed use is compatible with the mix of uses, and the scale of the two-story structures is generally compatible with other residential structures in this area.

4) THE USE WILL NOT SIGNIFICANTLY INJURE THE VALUE OF ADJACENT PROPERTY OR BY NOISE, LIGHTS, FUMES, ODORS, VIBRATION, TRAFFIC, CONGESTION, OR OTHER IMPACTS DETRACT FROM THE IMMEDIATE ENVIRONMENT.

- A. The proposed development is not expected to significantly injure the value of any adjacent properties. On the contrary, it will provide a buffer between the single-family houses and the industrial uses on both sides of Knott Avenue.

5) THE USE IS NOT OF A NATURE OR SO LOCATED AS TO DRAW SUBSTANTIAL ADDITIONAL

TRAFFIC THROUGH RESIDENTIAL STREETS.

A. The proposed development is not expected to draw substantial traffic through residential streets. The subject parcels are easily accessible from Middlebrook Pike, a major arterial road.

6) THE NATURE OF DEVELOPMENT IN THE SURROUNDING AREA IS NOT SUCH AS TO POSE A POTENTIAL HAZARD TO THE PROPOSED USE OR TO CREATE AN UNDESIRABLE ENVIRONMENT FOR THE PROPOSED USE.

A. Although the subject parcels are across from warehousing and industrial uses, these intense developments are required to comply with Article 10.2 (Exterior Lighting) and Article 10.5 (Environmental Performance Standards), which regulate light, noise, odor, dust, air pollution, and odor impacts. Proximity to Middlebrook Pike makes this property a desirable location for the proposed use.

ESTIMATED TRAFFIC IMPACT: 76 (average daily vehicle trips)

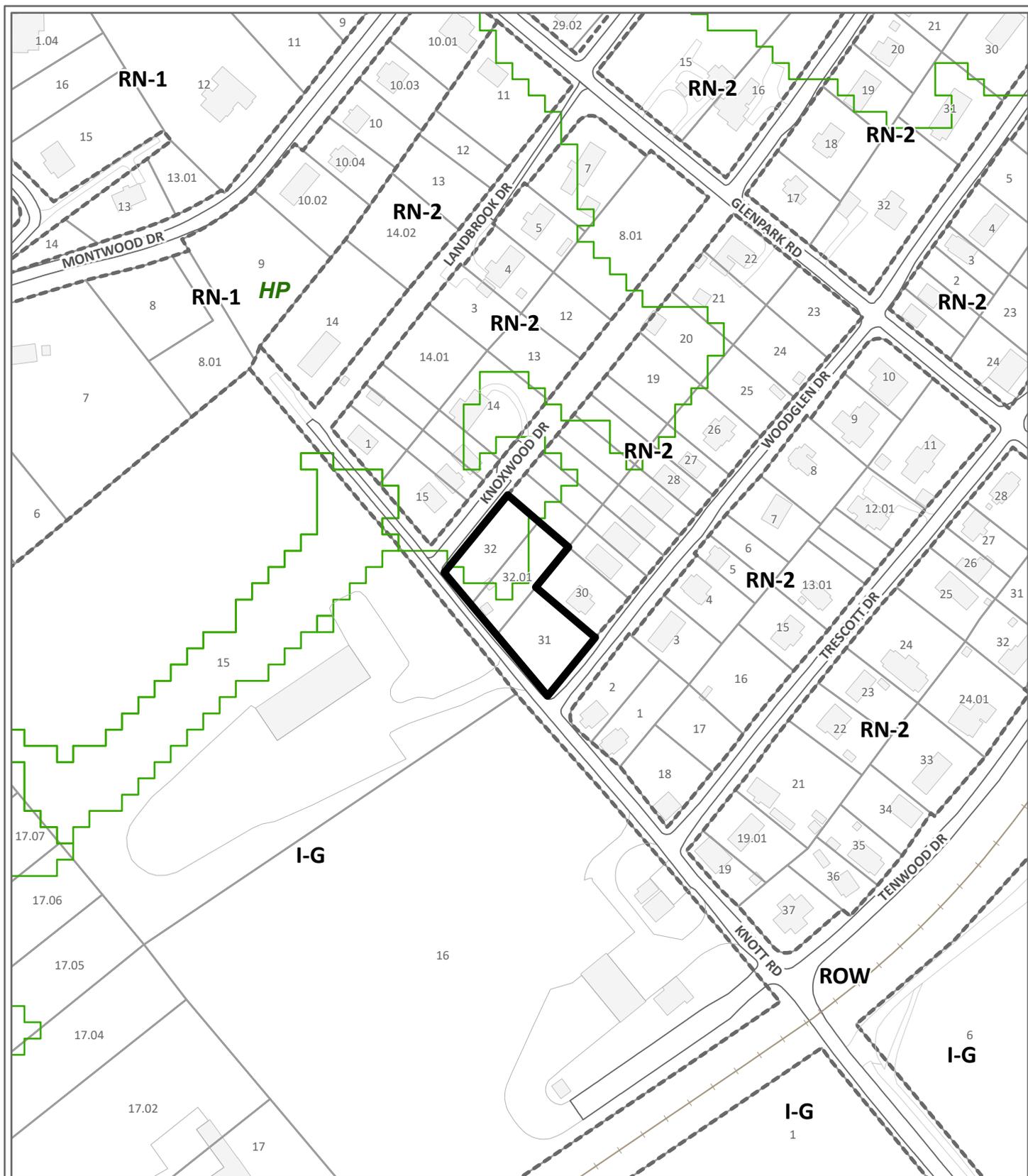
Average Daily Vehicle Trips are computed using national average trip rates reported in the latest edition of "Trip Generation," published by the Institute of Transportation Engineers. Average Daily Vehicle Trips represent the total number of trips that a particular land use can be expected to generate during a 24-hour day (Monday through Friday), with a "trip" counted each time a vehicle enters or exits a proposed development.

ESTIMATED STUDENT YIELD: 0 (public school children, grades K-12)

Schools affected by this proposal: Pond Gap Elementary, Northwest Middle, and West High.

- Potential new school population is estimated using locally-derived data on public school student yield generated by new housing.
- Students are assigned to schools based on current attendance zones as determined by Knox County Schools. Students may request transfers to different zones, and zone boundaries are subject to change.
- Estimates presume full build-out of the proposed development. Build-out is subject to market forces, and timing varies widely from proposal to proposal.
- Student yields from new development do not reflect a net addition of children in schools. Additions occur incrementally over the build-out period. New students may replace current population that ages through the system or moves from the attendance zone.

The Planning Commission's approval or denial of this request is final, unless the action is appealed to the Knoxville City Council. The date of the Knoxville City Council hearing will depend on when the appeal application is filed.



SPECIAL USE

3-E-26-SU

Petitioner: Josh Braden



Three two-family dwellings on individual lots in RN-2 (Single-Family Residential Neighborhood), HP (Hillside Protection Overlay)

Original Print Date: 1/26/2026

*Knoxville - Knox County Planning Commission * City / County Building * Knoxville, TN 37902*

Map No: 93

Jurisdiction: City

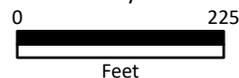
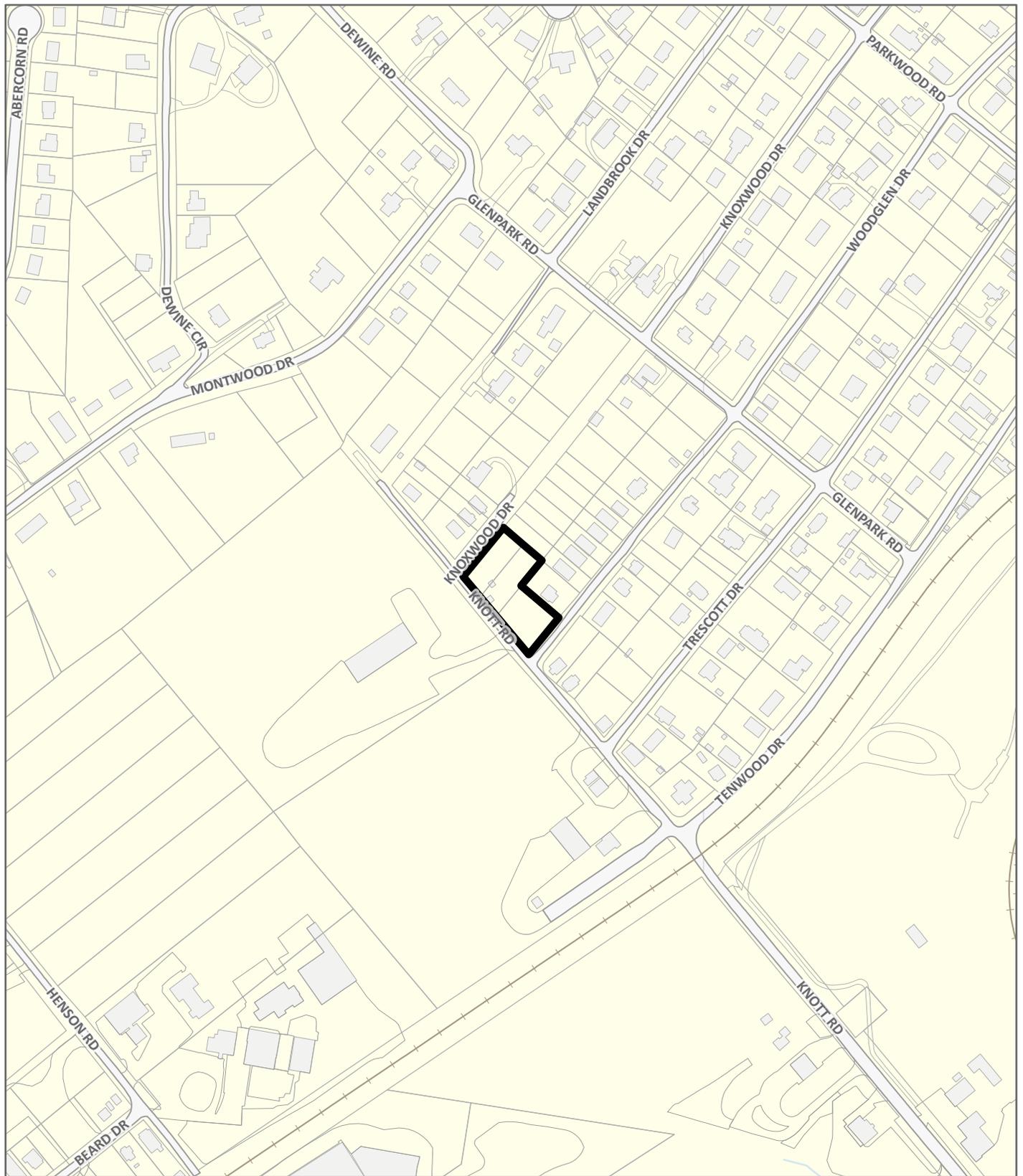


Exhibit A. Contextual Images



LOCATION MAP

3-E-26-SU



Case boundary

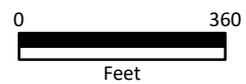


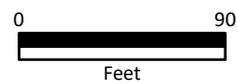
Exhibit A. Contextual Images



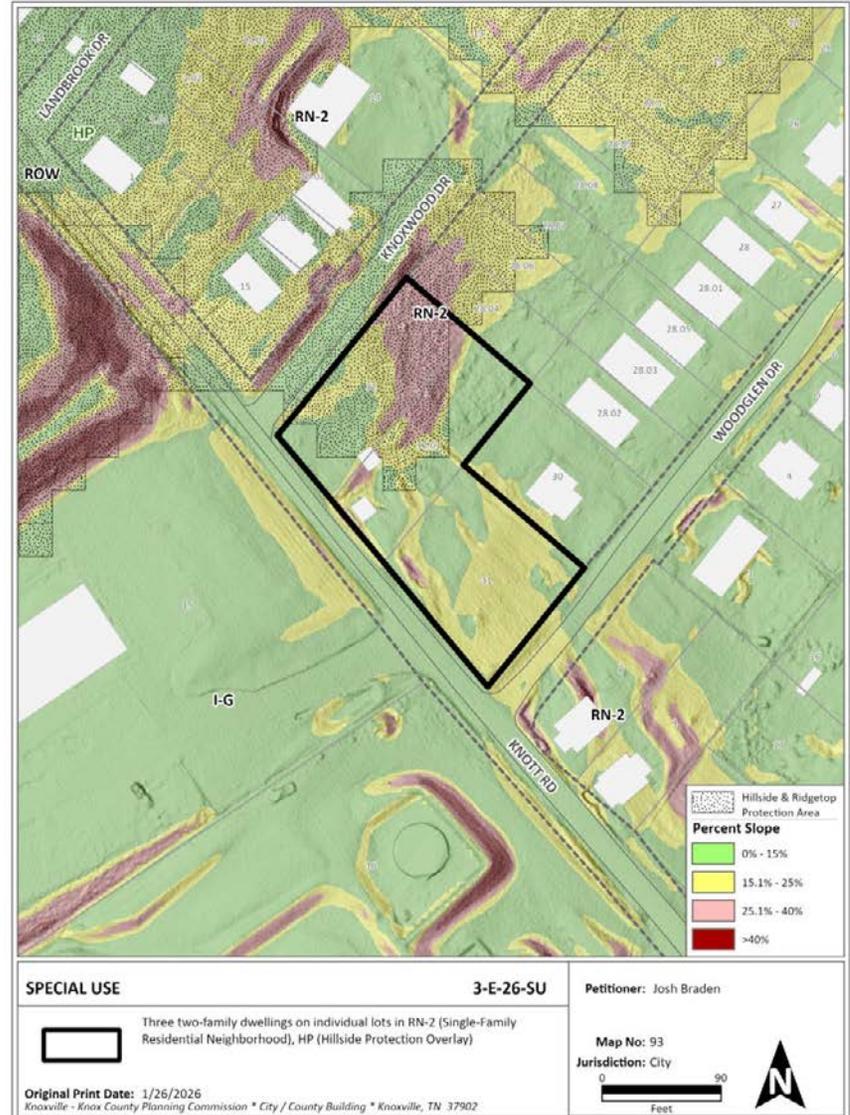
AERIAL MAP



Case boundary



CATEGORY	SQFT	ACRES	RECOMMENDED DISTURBANCE BUDGET (Percent)	DISTURBANCE AREA (Sqft)	DISTURBANCE AREA (Acres)
Total Area of Site	32,904.2	0.76			
Non-Hillside	21,598.6	0.50	N/A		
0-15% Slope	2,480.0	0.06	100%	2,480.0	0.1
15-25% Slope	3,904.0	0.09	50%	1,952.0	0.0
25-40% Slope	4,921.6	0.11	20%	984.3	0.0
Greater than 40% Slope	0.0	0.00	10%	0.0	0.0
Ridgetops					
Hillside Protection (HP) Area	11,305.6	0.26	Recommended disturbance budget within HP Area	5,416.3	0.1
			Percent of HP Area	47.9%	



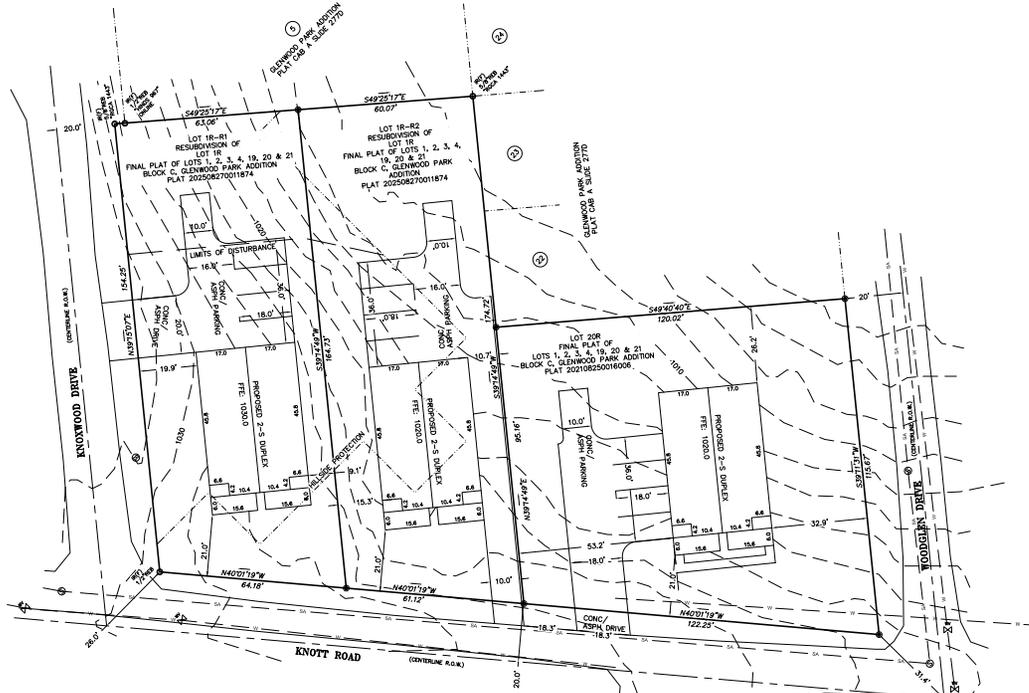
3-E-26-SU
2/25/2026



OWNER:
DANILO VASQUEZ
1722 BIRDA DRIVE
KNOXVILLE, TENNESSEE 37918

SYMBOL LEGEND	
○	IRON ROD (SIZE&TYPE)
⊗	WATER VALVE
●	IRON ROD SET
⊕	WATER METER
⊙	SANITARY MANHOLE
⊗	SANITARY SEWER
LINE LEGEND	
---	WATER LINE
---	SEWER LINE
---	HILLSIDE PROTECTION

THIS SURVEY WAS DONE UNDER AUTHORITY OF TLA 42-18-101. THIS SURVEY IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT PERMISSION IN WRITING FROM THE SURVEYOR.



DRIVEWAY AND PARKING NOTE
THE DRIVEWAYS AND PARKING AREAS ARE SHOWN FOR APPROVAL PURPOSES ONLY AND ARE SUBJECT TO CHANGE. A LETTER REGARDING ZONING CODE INTERPRETATION AND DETERMINATION IN REGARD TO DRIVEWAYS VS PARKING HAS BEEN SENT TO CITY ENGINEERING. NO FORMAL AGENCY/DETERMINATION HAS BEEN MADE.

ENGINEERING PLANNING REVIEW COMMENTS
1. DRIVEWAYS MUST BE SEPARATED, AT A MINIMUM, BY THE WIDTH OF THE WIDER DRIVEWAY.
2. THE FOLLOWING COMMENTS CONCERN LOTS 1R-R1 AND 1R-R2
A. THE MAXIMUM DRIVEWAY WIDTH FOR THESE LOTS IS 20 FEET. THIS APPLIES TO ALL PARKING AND DRIVING AREAS IN THE FRONT OR CORNER SIDE YARD.
3. THE FOLLOWING COMMENT CONCERNS LOTS 20R
A. THE MAXIMUM DRIVEWAY WIDTH FOR THESE LOTS IS 25 FEET. THIS APPLIES TO ALL PARKING AND DRIVING AREAS IN THE FRONT OR CORNER SIDE YARD.

RESPONSE TO COMMENTS 2 AND 3
Driveway and Parking in Front Yard
City of Knoxville Zoning Code Article 2.3 Definitions
Driveway: A pathway for motor vehicles from a street to a lot used only for service purposes or for access to the lot.
DR-Street Parking: The storage space for an automobile on premises other than streets or rights-of-way.
11.3 - LOCATION AND STREET BACKSET
A. For single-family and two-family dwellings, parking is prohibited in the front and corner side yard except as follows:
1. On lots with a garage or garage.
2. On lots with no garage or garage:
a. With a frontage of 75 feet or less, the driveway must be within ten feet of the side lot line.
11.6 - DESIGN OF OFF-STREET PARKING FACILITIES
A. All areas devoted to off-street parking must be designed so that no vehicle is required to back into a public street in order to obtain ingress or egress, except for fire recovery.
1. Off-street residential parking for single-family, two-family, and townhouse dwellings when the lot is accessed from a local street or alley.
Table 11-7: Driveway Width and Curb Cut Length Standards
Single-Family, Two-Family, A, Townhouses by Lot Width
Driveway Orientation Length-Curb Cut
50 feet or less 10' 18' 12' 24'
>50-74 10' 20' 15' 25'

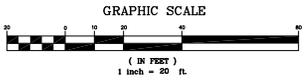
- NOTES**
- CLT TAX MAP 093 GROUP D PARCEL 032, 032.01, 031
 - DEED REFERENCES = 202506000084667
 - PLAT REFERENCES = 202108250016006, 202508270011874
 - THIS PROPERTY IS ZONED RN-2
MINIMUM SETBACKS:
FRONT - 20'
SIDE - 5'
CORNER SIDE - 12'
REAR - 25'
 - THIS PROPERTY DOES NOT LIE WITHIN A 100,000 YEAR FLOOD ZONE PER FIRM FLOOD INSURANCE RATE MAP NUMBER: 4709302590 EFFECTIVE DATE: AUGUST 5, 2013.
 - ALL UNDERGROUND UTILITIES ARE REFERENCED TO UTILITY COMPANIES MAPS AND ARE TO BE CONSIDERED APPROXIMATE.
 - NORTH ROTATION: NAD83(2011)
 - DUPLEX AREA: 1,887 SQ. FT.
LOT 1R-R1 AREA: 10,058 SQ. FT.
LOT 1R-R2 AREA: 10,193 SQ. FT.
LOT 20R AREA: 12,655 SQ. FT.
DRIVEWAY/SIDEWALK AREA (LOTS 1R-R1 & 1R-R2): 1,710 SQ. FT.
DRIVEWAY/SIDEWALK AREA (LOT 20R): 1,646 SQ. FT.
 - LOT 1R-R1 HILLSIDE PROTECTION DISTURBED AREA = 5,805 SQ. FT.
LOT 1R-R2 HILLSIDE PROTECTION DISTURBED AREA = 2,968 SQ. FT.
 - THE PURPOSE OF THIS PLAN IS TO DETERMINE THE USE OF DUPLEXES ON THE LOTS SHOWN, DRIVEWAYS, PARKING AND OTHER ELEMENTS SHOWN ON THIS SITE PLAN ARE SUBJECT TO CHANGE, AND ARE SHOWN FOR CONCEPTUAL PURPOSES ONLY.

DRIVEWAY AND PARKING CLARIFICATION NOTE
THE DRIVEWAYS SHOWN HEREON REPRESENT THE ACCESS POINTS FROM THE PUBLIC RIGHT-OF-WAY TO THE PROPOSED DWELLING UNITS.
PER THE CITY OF KNOXVILLE ZONING CODE, DRIVEWAYS AND PARKING AREAS ARE REGULATED UNDER SEPARATE ORDINANCES AND ARE DISTINCT IMPROVEMENTS.
THE PARKING AREAS SHOWN HEREON ARE NOT CONSIDERED DRIVEWAY ACCESS POINTS, LOCATIONS, OR WIDTHS.

HILLSIDE PROTECTION AREA DELINEATION NOTE
THE HILLSIDE PROTECTION AREA (HPA) LIMITS SHOWN HEREON ARE BASED SOLELY UPON PUBLICLY AVAILABLE GIS MAPPING AND ONLINE ELEVATION DATA OBTAINED FROM ASSESSOR(S). NO INDEPENDENT FIELD DELINEATION OR TOPOGRAPHIC RECALCULATION OF THE HPA BOUNDARIES HAS BEEN PERFORMED BY THE SURVEYOR.
GIS DATA IS INHERENTLY SUBJECT TO HORIZONTAL AND VERTICAL TOLERANCES AND SHOULD BE CONSIDERED APPROXIMATE. ACCORDINGLY, THE HPA LIMITS DEPICTED HEREON ARE SHOWN FOR REFERENCE AND PLANNING PURPOSES ONLY.
FINAL DETERMINATION, INTERPRETATION, AND REGULATORY ENFORCEMENT OF HILLSIDE PROTECTION AREA BOUNDARIES SHALL REMAIN THE SOLE RESPONSIBILITY OF THE CITY OF KNOXVILLE AND ITS DESIGNATED REVENING AUTHORITY.

NO WARRANTY OR GUARANTEE, EXPRESSED OR IMPLIED, IS MADE BY THE SURVEYOR REGARDING THE PRECISE LOCATION, EXTENT, OR REGULATORY APPLICABILITY OF THE HILLSIDE PROTECTION AREA AS SHOWN.

HILLSIDE PROTECTION EXEMPTION NOTE
THESE LOTS ARE EXEMPT FROM HILLSIDE PROTECTION REGULATIONS PER ARTICLE 9.9.B.4 OF THE CITY OF KNOXVILLE ZONING CODED AND THE 2008 HISTORICAL ADJAL.
THIS EXEMPTION IS PER EMAIL FROM JAKE BEAUMER, ASSISTANT PLANNER, TO JOSH BRADEN AND SAMUEL HAQUE ON JUNE 25, 2025.



LOT PLAN OF:
Lots 1R-R1 & 1R-R2, Resub. of Lot 1R, Block C, Glenwood Park Addition & Lot 20R, Final Plat of Lots 1, 2, 3, 4, 19, 20 & 21 Block C, Glenwood Park Addition Ward 43, City Block 43320, Knoxville, Tennessee

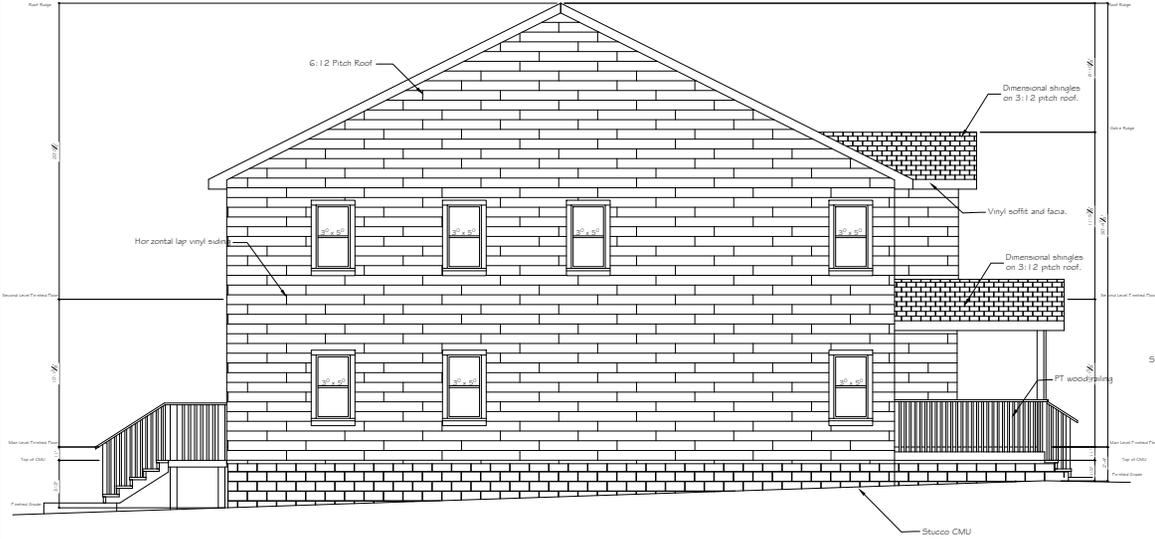
FOR:
Josh Braden
649 Running Brook Drive
Strawberry Plains, Tennessee 37871
Phone: 865-696-7343

LYNCH SURVEYS LLD
SUBDIVISIONS | AS-BUILTS | SITE DESIGN
4405 OSER ROAD, KNOXVILLE, TENN. 37912
865-584-2630 FAX: 865-584-2801 WWW.LYNCHSURVEY.COM

REVISIONS	PROJECT NO.
1	5075-1
2	
3	
4	
5	
6	



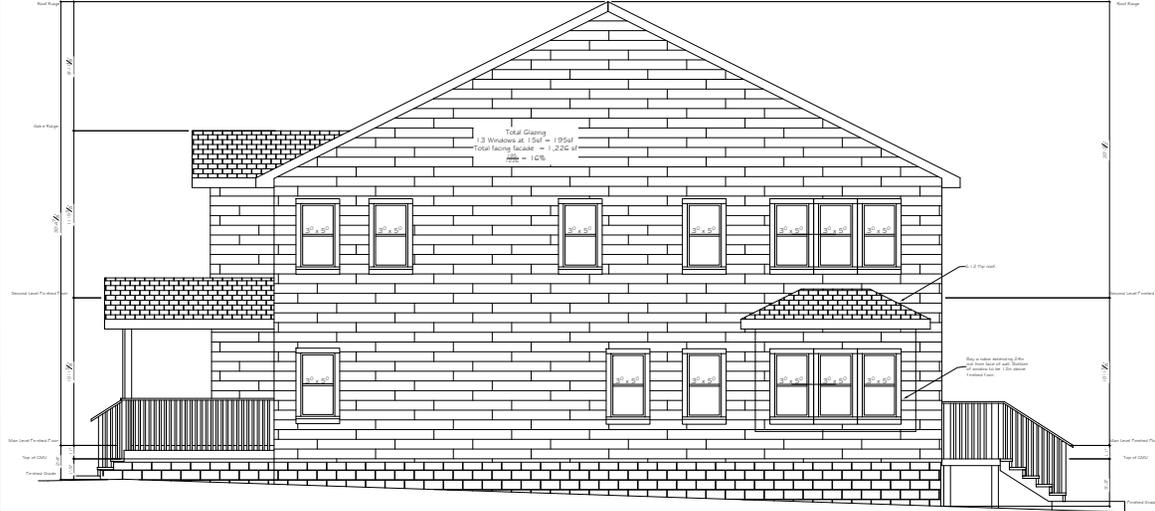
DRAWN BY: C.V.
CHECKED BY: R. LYNCH
APPROVED BY: R.S.L.
SCALE: 1"=20'
DATE: 11/25/2025



Left Exterior Elevation
Scale: $\frac{1}{4}'' = 1'-0''$

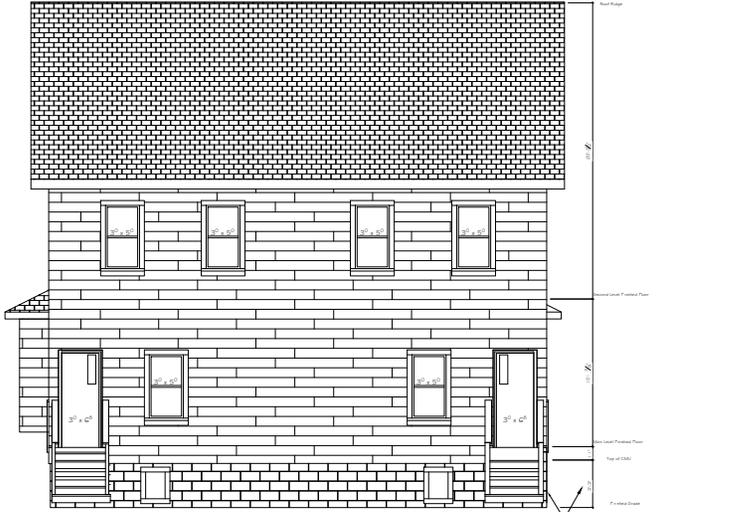


Front Exterior Elevation
Scale: $\frac{1}{4}'' = 1'-0''$



Left and Right Exterior Elevations to be interchanged for Lot 1R-R1 so the bay window face Knoxwood Drive

Right Exterior Elevation
Scale: $\frac{1}{4}'' = 1'-0''$

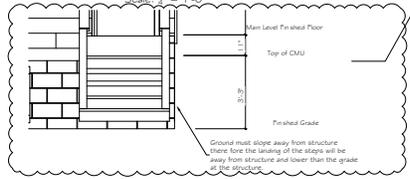


Rear Exterior Elevation
Scale: $\frac{1}{4}'' = 1'-0''$

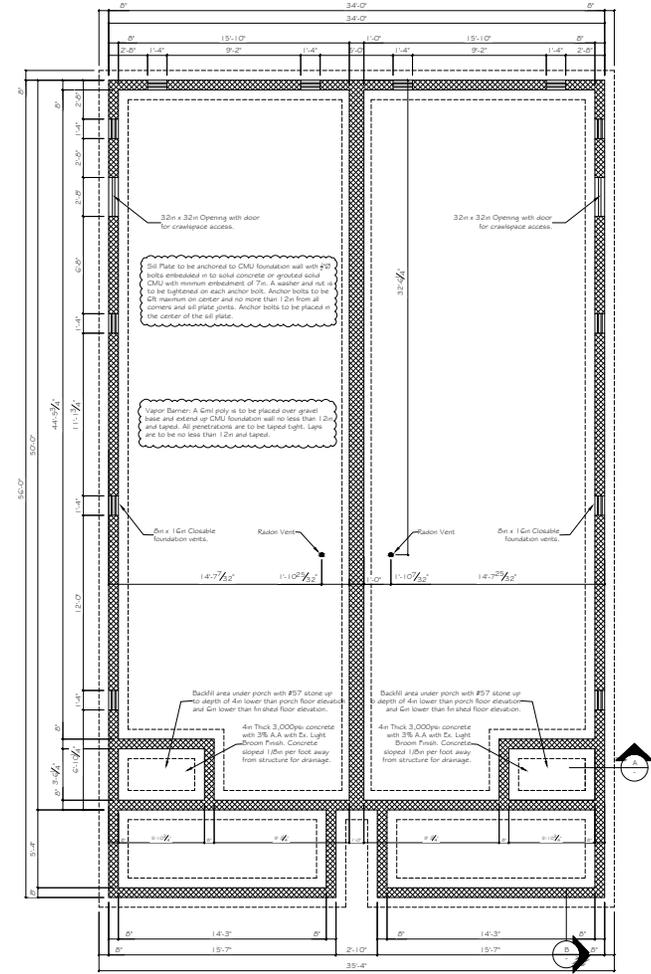
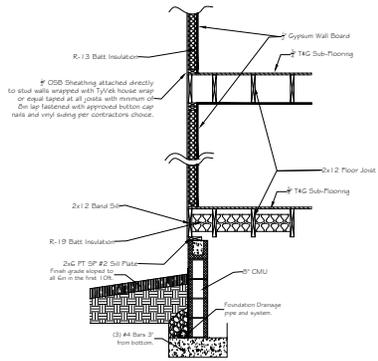
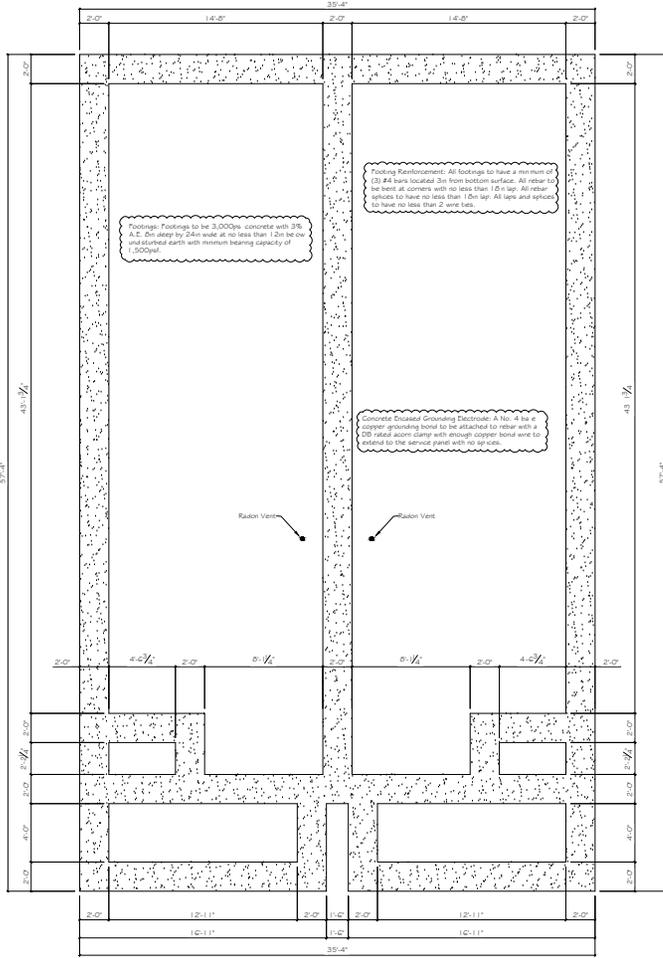
Every attempt has been made to ensure these plans meet the ICC IRC 2024 Code and provide the required information and detail to allow code compliant construction of the proposed structure. However it is the contractor and MEP sub-trades responsibility to ensure that all construction methods, materials, installation and workmanship are performed to meet the ICC codes, state requirements and adopted ordinances and zoning requirements of the local jurisdiction.



Front Elevation Window & Door Trim Detail
Scale: $\frac{1}{4}'' = 1'-0''$



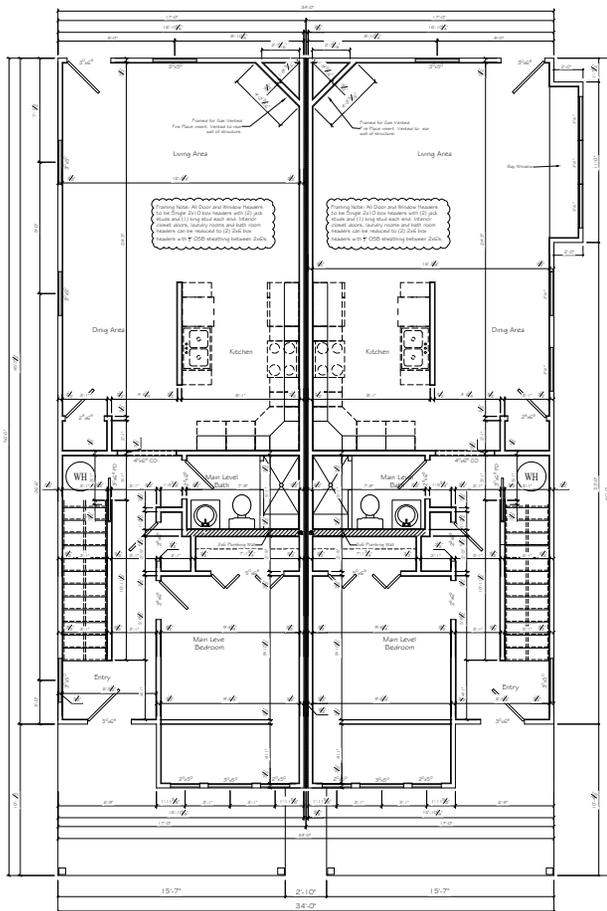
PROJECT INFORMATION
New Two Family Dwelling Modern
3-Bed 3 Bath Two Story Custom Home
3303 Jacobsboro Pike
Knoxville, Tennessee
Contractor: Braden Family Properties
PROJECT ARCHITECT
PLAN ID: 2FM2513DD18BCCSR
REVISED: 08/2024
DATE: 08/2024



Every attempt has been made to ensure these plans meet the ICC IRC 2024 Code and provide the required information and detail to allow code compliant construction of the proposed structure. However it is the contractor and MEP sub-trades responsibility to ensure that all construction methods, materials, installation and workmanship are performed to and meet the ICC codes, state requirements and adopted ordinances and zoning requirements of the local jurisdiction.

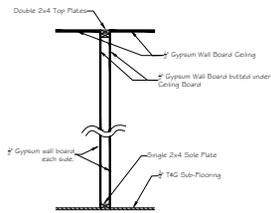
PROJECT INFORMATION
 New Two Family Dwelling Modern
 3-Bed 3-Bath 1.5 Bath 2.5 Bath 2.5 Bath
 2303 Jacobsboro Pike
 Raleigh, NC 27603
 Contractor: Braden Family Properties
 Project: 23M2513BD18BCCSR
 Plan ID: 23M2513BD18BCCSR
 DATE: 08/20/2024
 PROJECT NO. 2303

A-03

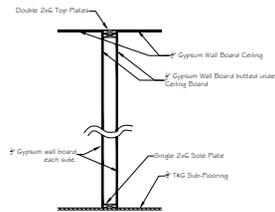


Main Floor Plan
Scale: 1/4" = 1'-0"

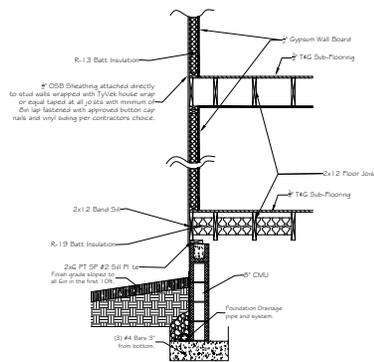
To be mirrored for Lot 1R-R1 so the bay window face Knoxville Drive



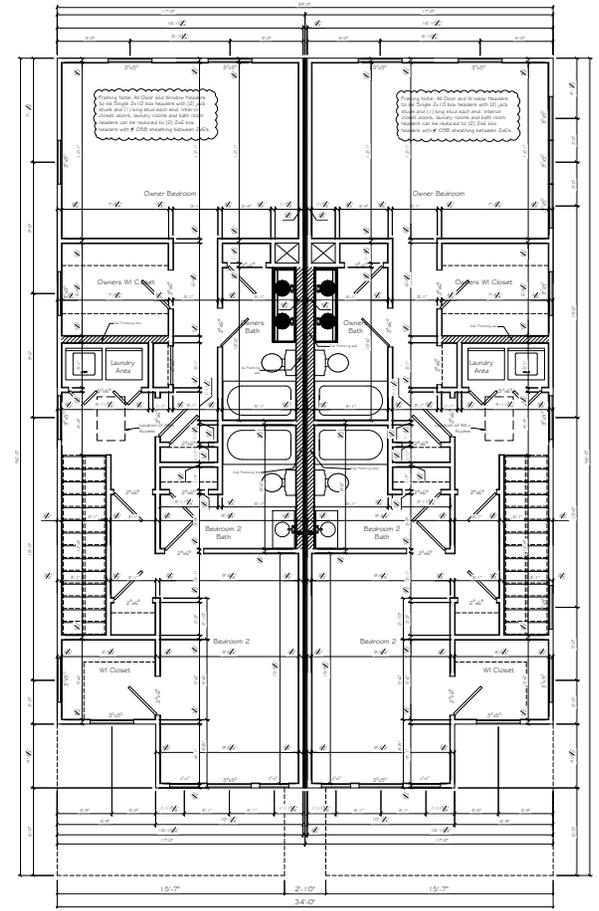
Typical Interior Wall Detail
Scale: 1/2" = 1'-0"



Typical Plumbing Wall Detail
Scale: 1/2" = 1'-0"



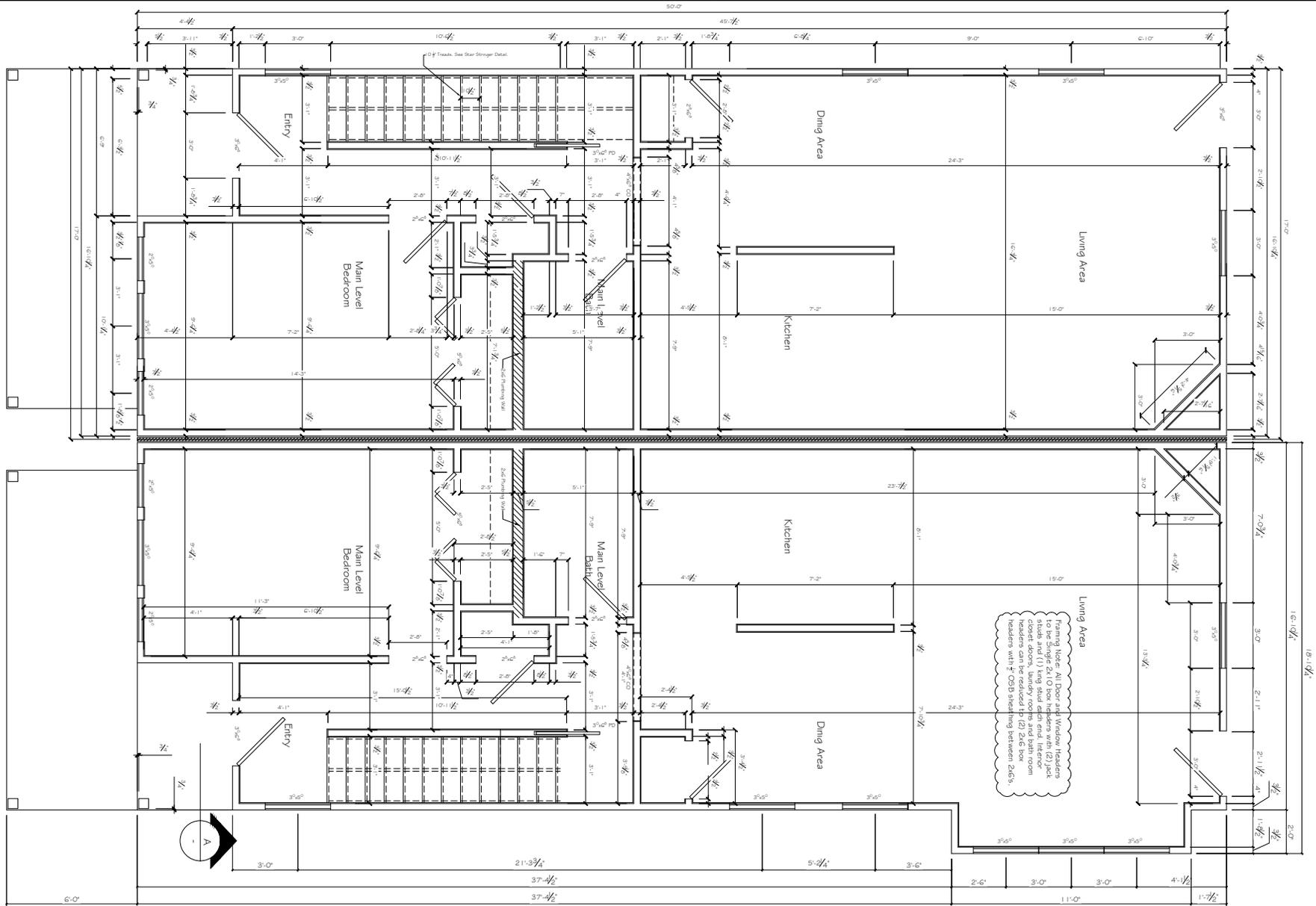
Typical Exterior Wall Detail
Scale: 1/2" = 1'-0"



Second Floor Plan
Scale: 1/4" = 1'-0"

Every attempt has been made to ensure these plans meet the ICC IRC 2024 Code and provide the required information and detail to allow code compliant construction of the proposed structure. However it is the contractor and MEP sub-trades responsibility to ensure that all construction methods, materials, installation and workmanship are performed to and meet the ICC codes, state requirements and adopted ordinances and zoning requirements of the local jurisdiction.

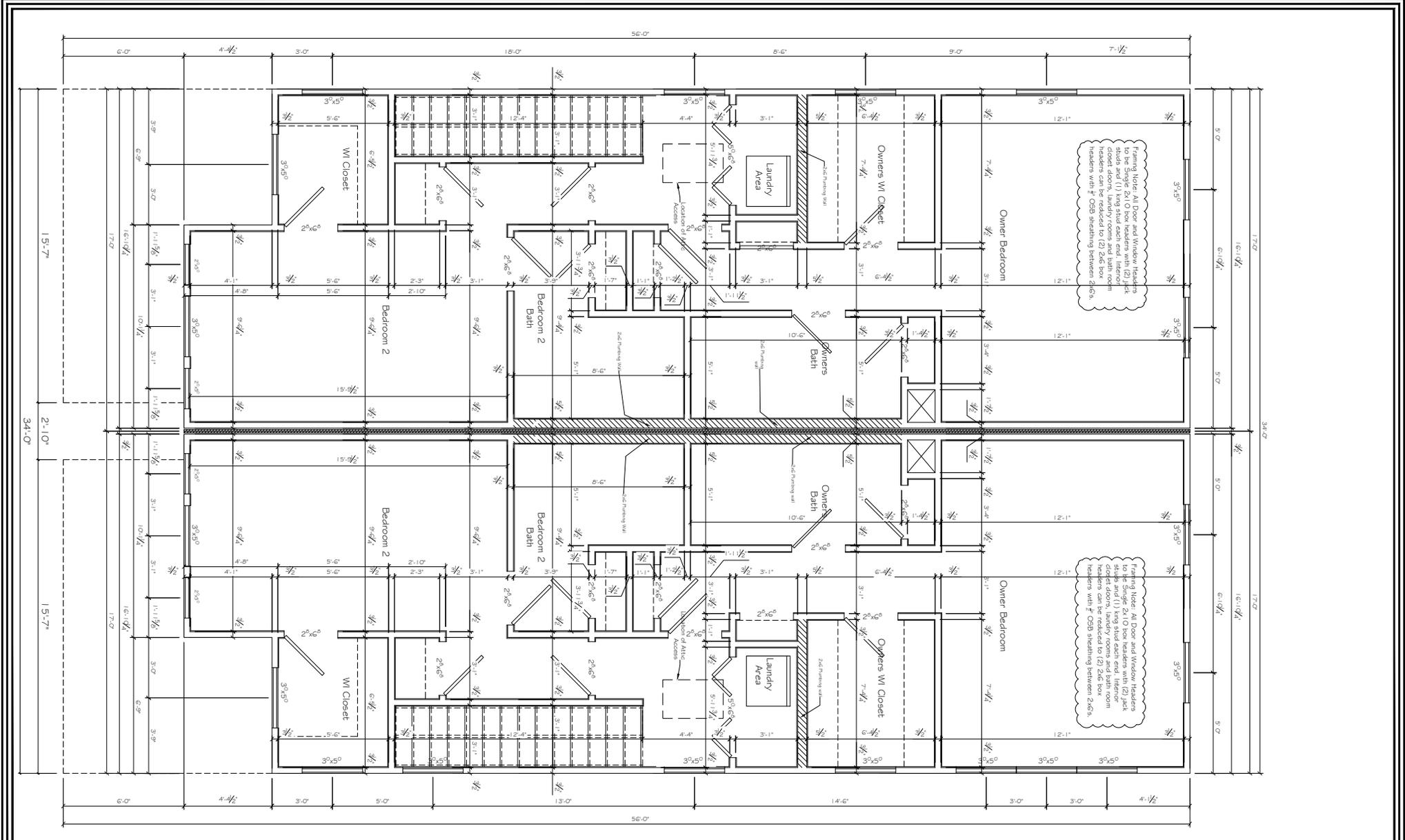
PROJECT INFORMATION
 New Two Family Dwelling Modern
 3-Bed 3 Bath Two Story Colonial Style Foundation
 1500 Jacobsboro Pike
 Raleigh, NC 27605
 Consultant: Braden Family Properties
 Plan ID: 2FM2513DD3B3C58
 DATE: 08/27/2024
 PROJECT NO: 2513



Every attempt has been made to ensure these plans meet the ICC IRC 2024 Code and provide the required information and detail to allow code compliant construction of the proposed structure. However it is the contractor and MEP sub-trades responsibility to ensure that all construction methods, materials, installation and workmanship are performed to and meet the ICC codes, state requirements and adopted ordinances and zoning requirements of the local jurisdiction.

Enlarged Main Floor Wall Framing Plan
Scale: 1/8" = 1'-0"

PROJECT INFORMATION
 New Two Family Dwelling
 3-Bed 3 Bath 1.5 Car Garage Modern
 3300 Jacobsboro Pike
 Raleigh, NC 27605
 Contractor: Bredas Family Properties
 Project: 25M2513DD18BCCSR
 Plan ID: 25M2513DD18BCCSR
 DATE: 2024-07-11
 PROJECT NO: 25M2513DD18BCCSR



Framing Note: All Door and Window Headers to be Single 2x10 box headers with (2) jacks and (1) king stud each end. Interior Headers can be reduced to (2) 2x6 box headers with #2 OSB sheathing between 2x6s.

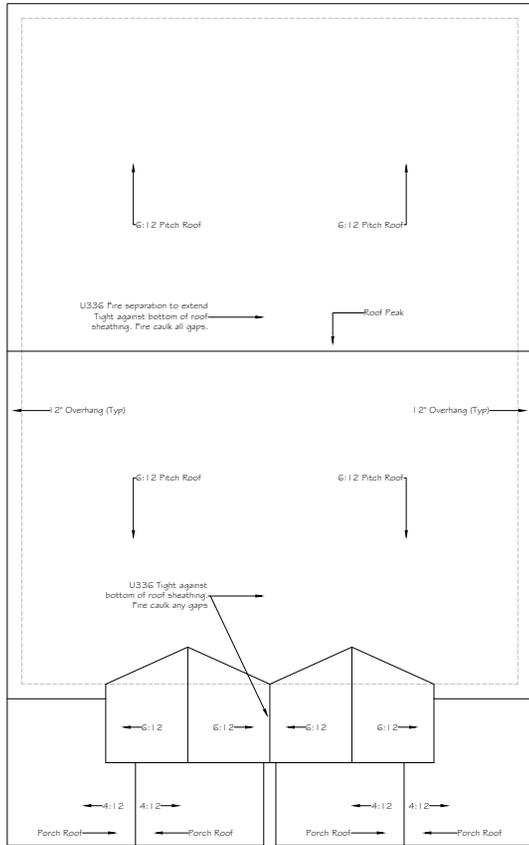
Framing Note: All Door and Window Headers to be Single 2x10 box headers with (2) jacks and (1) king stud each end. Interior Headers can be reduced to (2) 2x6 box headers with #2 OSB sheathing between 2x6s.

Every attempt has been made to ensure these plans meet the ICC IRC 2024 Code and provide the required information and detail to allow code compliant construction of the proposed structure. However it is the contractor and MEP sub-trades responsibility to ensure that all construction methods, materials, installation and workmanship are performed to and meet the ICC codes, state requirements and adopted ordinances and zoning requirements of the local jurisdiction.

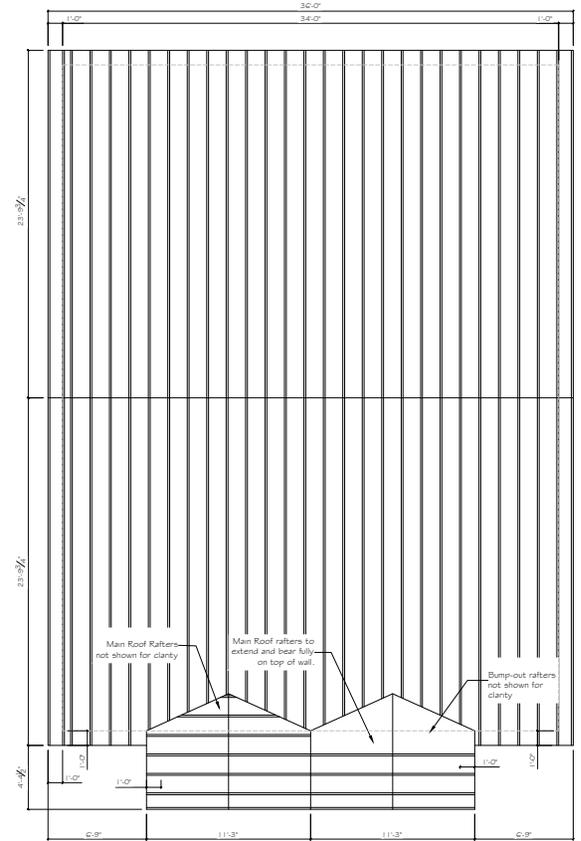
Enlarged Second Floor Wall Framing Plan
Scale: 1/8" = 1'-0"

PROJECT INFORMATION
 New Two Family Dwelling Modern
 3-Bed 3-Bath Two Story Cast-In-Place Foundation
 3302 Jacobsboro Pike
 Raleigh, NC 27605
 Contractor: Barden Family Properties
 Project: 1005106-24-000
 Plan ID: 2FM2513DD18BCC58
 DATE: 2024.08.21
 DRAWN BY: [Signature]

A-07



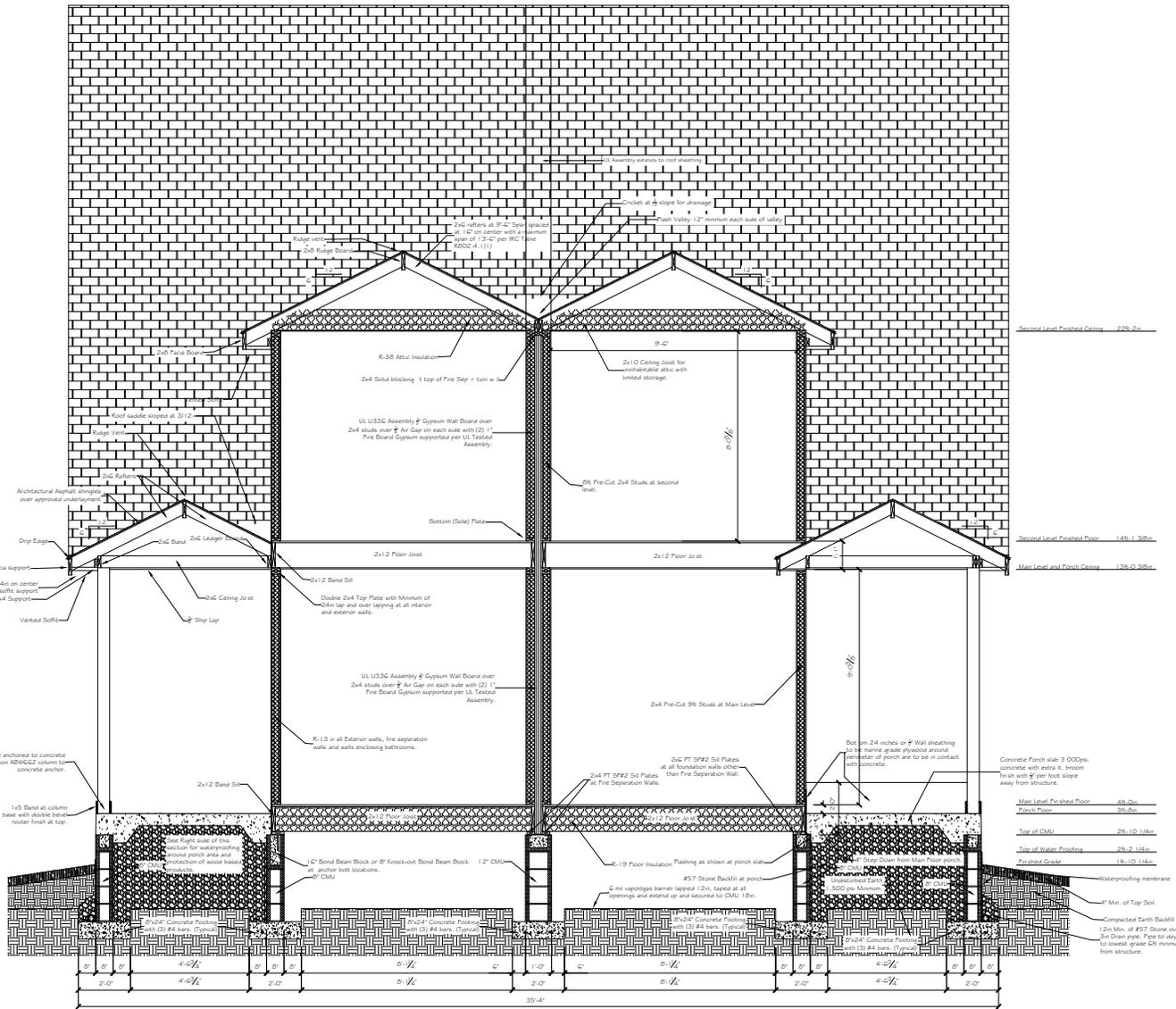
Roof Slope Plan
Scale: $\frac{1}{4}'' = 1'-0''$



Rafter Plan
Scale: $\frac{1}{4}'' = 1'-0''$

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PROJECT INFORMATION
 New Two Family Dwelling Modern
 3-Bed 3 Bath 1.5 Car Garage
 2302 Jackson Park
 East Village, Columbus
 Owner: Braden Family Properties
 Architect: BMS Architects
 Plan ID: 2FM231001B0000000
 10/23/2024
 10/23/2024

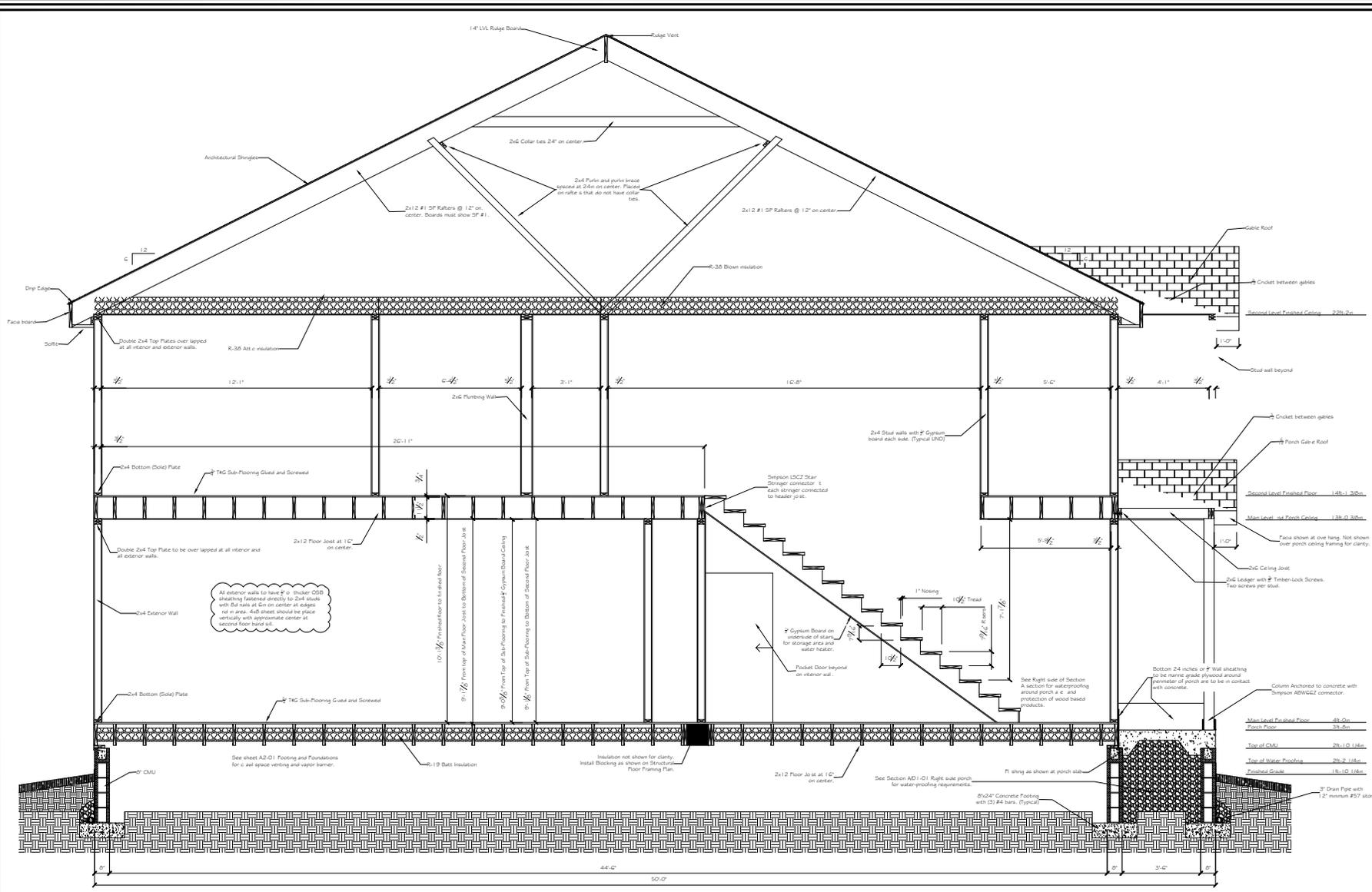


Every attempt has been made to ensure these plans meet the ICC IRC 2024 Code and provide the required information and detail to allow code compliant construction of the proposed structure. However it is the contractor and MEP sub-trades responsibility to ensure that all construction methods, materials, installation and workmanship are performed to and meet the ICC codes, state requirements and adopted ordinances and zoning requirements of the local jurisdiction.

Building Section A
Scale: $\frac{1}{8}'' = 1'-0''$

S-01

PROJECT INFORMATION
 New Two Family Dwelling Modern
 3-Bed 3 Bath Two Story Cross Frame Foundation
 3305 Jackson Pike
 Kingsville, TX 75840
 Contractor: Braden Family Properties
 Project: 25M2573BD18BCC58
 Project Start Date: 12/2023
 Issued Date: 01/2024



Every attempt has been made to ensure these plans meet the ICC IRC 2024 Code and provide the required information and detail to allow code compliant construction of the proposed structure. However it is the contractor and MEP sub-trades responsibility to ensure that all construction methods, materials, installation and workmanship are performed to and meet the ICC codes, state requirements and adopted ordinances and zoning requirements of the local jurisdiction.

Building Section A
Scale: 1/8" = 1'-0"

S-02

PROJECT INFORMATION
 New Two Family Dwelling Modern
 3-Bed 3 Bath Two Story Colonial Square Foundation
 1800 S. 10th St. Cape Fear
 Contractor: Braden Family Properties
 Project: 25M2513DD18BCC58
 10/24/2024