



SPECIAL USE REPORT

▶ **FILE #:** 5-A-26-SU

AGENDA ITEM #: 10

AGENDA DATE: 5/14/2026

▶ **APPLICANT:** CLAY POWERS

OWNER(S): Clayton Powers Powers Property Group LLC.

TAX ID NUMBER: 123 H P 026

[View map on KGIS](#)

JURISDICTION: City Council District 1

STREET ADDRESS: 329 AVENUE B

▶ **LOCATION:** Northwest side of Avenue B, east of Cleage St

▶ **APPX. SIZE OF TRACT:** 10185 square feet

SECTOR PLAN: South City

GROWTH POLICY PLAN: N/A (Within City Limits)

ACCESSIBILITY: Access is via a rear alley with 11 ft of pavement width within a 14-ft right-of-way.

UTILITIES: Water Source: Knoxville Utilities Board

Sewer Source: Knoxville Utilities Board

FIRE DISTRICT: Knoxville Fire Department

WATERSHED: Goose Creek

▶ **ZONING:** RN-2 (Single-Family Residential Neighborhood)

▶ **EXISTING LAND USE:** Single Family Residential

▶ **PROPOSED USE:** Two-family dwelling

HISTORY OF ZONING: In 1999 the property was part of a larger rezoning from R-2 (General Residential) to R-1 (Single Family Residential) (7-Y-99-RZ).

SURROUNDING LAND USE AND ZONING: North: Single family residential - RN-2 (Single-Family Residential Neighborhood)

South: Single family residential - RN-2 (Single-Family Residential Neighborhood)

East: Single family residential - RN-2 (Single-Family Residential Neighborhood)

West: Single family residential - RN-2 (Single-Family Residential Neighborhood)

NEIGHBORHOOD CONTEXT: The subject property is in a neighborhood that features single family houses on small lots interspersed with vacant land, duplexes, and small multifamily developments. Community Unity Park is 0.25 miles to the southwest.

STAFF RECOMMENDATION:

▶ **Approve the request for a two-family dwelling as depicted on the site plan, subject to 3 conditions.**

- 1) Meeting all applicable requirements of the City of Knoxville Zoning Ordinance.
- 2) Meeting all applicable requirements of the City of Knoxville Engineering Department, including, but not limited to, plat and easement requirements for the issuance of a building permit (Section 22.5-40, Stormwater and Street Ordinance).
- 3) Meeting all applicable requirements of the City of Knoxville Plans Review and Inspections Department.

COMMENTS:

This request is for a two-story duplex facing Avenue B, with alley access from the rear side. The duplex has a footprint of 1,998 sq ft, with three bedrooms on the second floor. The parcel includes the entirety of Lot 15 and a portion of Lot 14 in the Southland Park subdivision, and the applicant proposes removing the interior lot line to merge the lots.

STANDARDS FOR EVALUATING A SPECIAL USE (ARTICLE 16.2.F.2)

1) THE USE IS CONSISTENT WITH ADOPTED PLANS AND POLICIES, INCLUDING THE GENERAL PLAN AND THE ONE-YEAR PLAN.

A. The proposed use is consistent with the General Plan's Development Policy 8.1, which encourages growth in the existing urban area through infill housing opportunities.

B. A two-family dwelling, which is considered low-density residential use, is consistent with the One Year Plan's and South City Sector Plan's LDR (Low Density Residential) land use classification.

2) THE USE IS IN HARMONY WITH THE GENERAL PURPOSE AND INTENT OF THIS ZONING CODE.

A. The RN-2 district is intended to accommodate low density single-family residential development on relatively small lots with smaller setbacks. Two-family dwellings may be allowed by special use approval.

B. The RN-2 district requires a minimum lot size of 10,000 sq ft for two-family dwellings, and the subject parcel meets this requirement. The site plan and building elevations as provided conform to the dimensional standards (Article 4.3) and the Principal Use Standards (Article 9.3.J) for duplexes in the RN-2 district. For example, the street-facing elevation exceeds the 15% minimum transparency requirements and includes architectural elements to avoid the appearance of blank walls.

C. The applicant proposes to remove the existing driveway off of Avenue B and use the alley as the primary means of vehicular ingress and egress, as required by the zoning ordinance.

3) THE USE IS COMPATIBLE WITH THE CHARACTER OF THE NEIGHBORHOOD WHERE IT IS PROPOSED, AND WITH THE SIZE AND LOCATION OF BUILDINGS IN THE VICINITY.

A. This part of the Vestal community is primarily composed of single-family dwellings, with a few duplexes, small-scale multifamily developments, and places of worship interspersed. The proposed use is compatible with the mix of uses, and the scale of the two-story structures is generally consistent with other residential structures in this area.

4) THE USE WILL NOT SIGNIFICANTLY INJURE THE VALUE OF ADJACENT PROPERTY OR BY NOISE, LIGHTS, FUMES, ODORS, VIBRATION, TRAFFIC, CONGESTION, OR OTHER IMPACTS DETRACT FROM THE IMMEDIATE ENVIRONMENT.

A. The proposed development is not expected to significantly injure the value of any adjacent properties.

5) THE USE IS NOT OF A NATURE OR SO LOCATED AS TO DRAW SUBSTANTIAL ADDITIONAL TRAFFIC THROUGH RESIDENTIAL STREETS.

A. Two dwelling units are not expected to draw substantial traffic through residential streets. The subject parcel is within 0.16 miles of a transit stop on Avenue A and 0.4 miles of Maryville Pike, a minor arterial road.

6) THE NATURE OF DEVELOPMENT IN THE SURROUNDING AREA IS NOT SUCH AS TO POSE A POTENTIAL HAZARD TO THE PROPOSED USE OR TO CREATE AN UNDESIRABLE ENVIRONMENT FOR THE PROPOSED USE.

A. The uses immediately surrounding the subject property will not pose a potential hazard or undesirable environment. Proximity to Community Unity Park and Joe B Foster Park, along with walkable access to transit stops, makes this property a desirable location for the minor increase in housing density.

ESTIMATED TRAFFIC IMPACT: 16 (average daily vehicle trips)

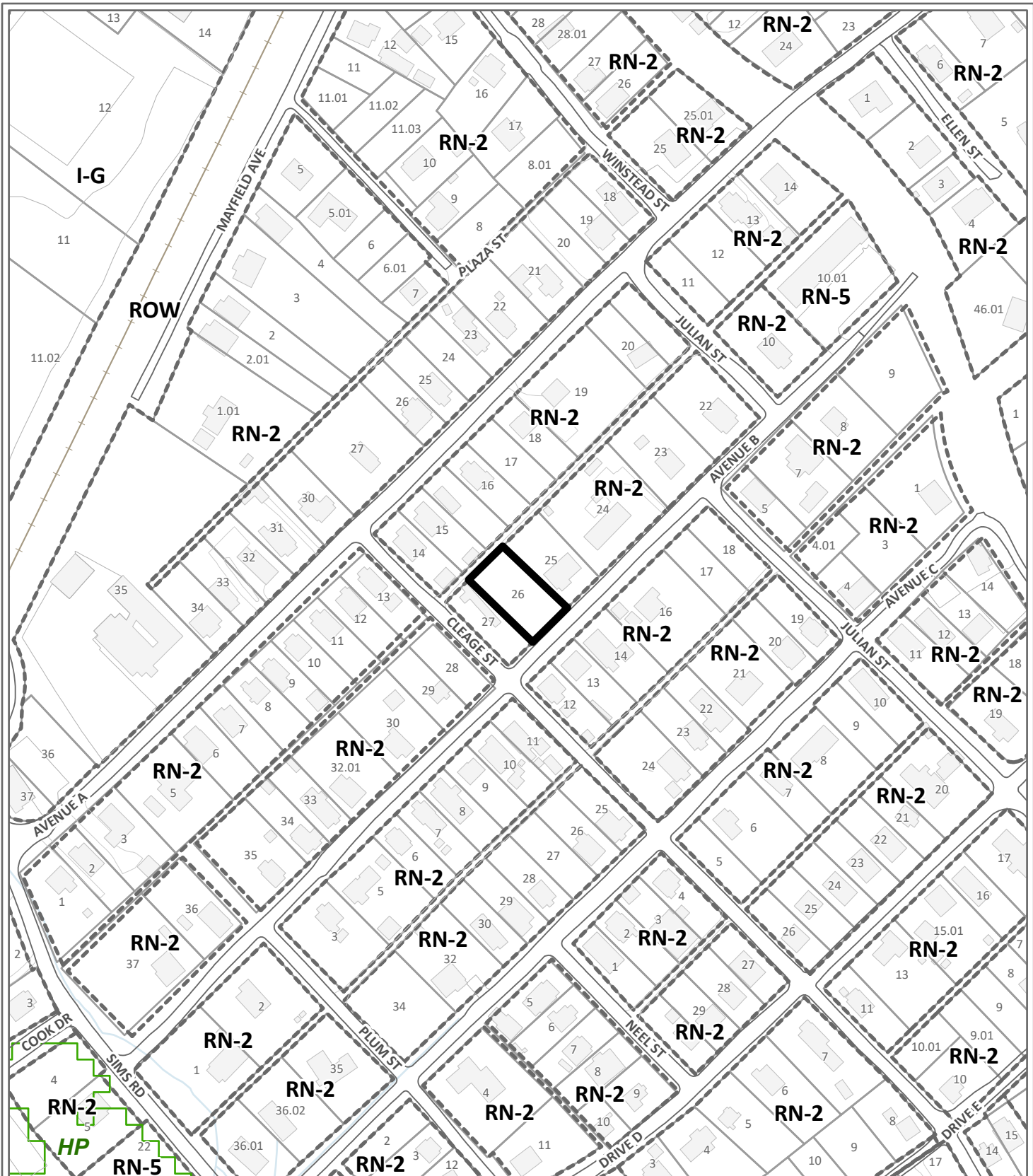
Average Daily Vehicle Trips are computed using national average trip rates reported in the latest edition of "Trip Generation," published by the Institute of Transportation Engineers. Average Daily Vehicle Trips represent the total number of trips that a particular land use can be expected to generate during a 24-hour day (Monday through Friday), with a "trip" counted each time a vehicle enters or exits a proposed development.

ESTIMATED STUDENT YIELD: 0 (public school children, grades K-12)

Schools affected by this proposal: Dogwood Elementary, South Doyle Middle, and South Doyle High.

- Potential new school population is estimated using locally-derived data on public school student yield generated by new housing.
- Students are assigned to schools based on current attendance zones as determined by Knox County Schools. Students may request transfers to different zones, and zone boundaries are subject to change.
- Estimates presume full build-out of the proposed development. Build-out is subject to market forces, and timing varies widely from proposal to proposal.
- Student yields from new development do not reflect a net addition of children in schools. Additions occur incrementally over the build-out period. New students may replace current population that ages through the system or moves from the attendance zone.

The Planning Commission's approval or denial of this request is final, unless the action is appealed to the Knoxville City Council. The date of the Knoxville City Council hearing will depend on when the appeal application is filed.



SPECIAL USE

5-A-26-SU

Petitioner: Clay Powers



Two-family dwelling in RN-2 (Single-Family Residential Neighborhood)

Original Print Date: 4/7/2026

Knoxville - Knox County Planning Commission * City / County Building * Knoxville, TN 37902

Map No: 123

Jurisdiction: City

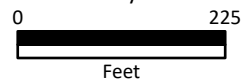


Exhibit A. Contextual Images



AERIAL MAP



Case boundary

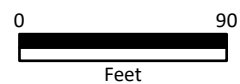
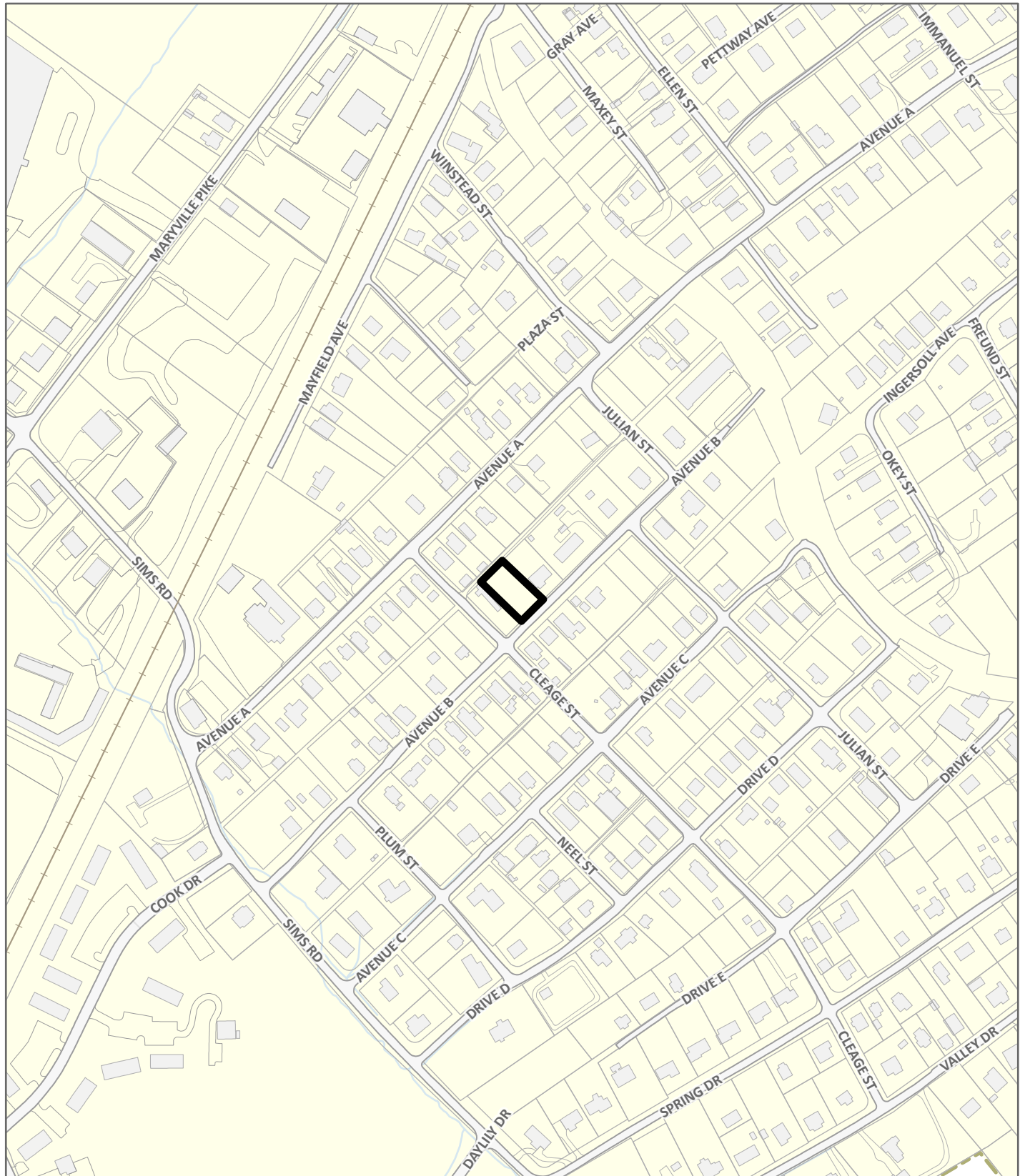


Exhibit A. Contextual Images



LOCATION MAP

5-A-26-SU



Case boundary





NOTES:

1. THIS IS NOT A GENERAL PROPERTY SURVEY.
2. BEARINGS SHOWN HEREON REFERENCED TO NORTH AMERICAN DATUM 1983 (NAD83).
3. ELEVATIONS SHOWN HEREON ARE REFERENCED TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAV88).
4. ALL DISTANCES SHOWN HEREON ARE HORIZONTAL GRID DISTANCES MEASURED IN US SURVEY FEET.
5. THE SUBJECT PROPERTY IS LOCATED IN FLOOD HAZARD ZONE "X" AN AREA OF MINIMAL FLOOD HAZARD, PER THE FEMA FLOOD INSURANCE RATE MAP, COMMUNITY- PANEL NUMBER 47093C0291F, EFFECTIVE 5/2/2007.
6. SUBJECT PROPERTY IS LOCATED WITHIN THE "RN-2" ZONING DISTRICT. CURRENT BUILDING SETBACKS ARE PER CITY OF KNOXVILLE ZONING.

LOT 16
DAVID TANNER
GIS 123H P 027.00
PB 6 PG 47
DEED INST. 202410280023043

PORTION OF
LOTS 13 & 14
THOMAS GOETZ
& NEIGHBORS JANA GOETZ
GIS 123H P 025.00
PB 6 PG 47
DEED INST. 201806250076543

LOT 15
0.160Ac. ±
6991 SQFT ±

PORTION OF
LOT 14
0.080Ac. ±
3498 SQFT ±

AREA CALCULATIONS

IMPERVIOUS
 LOT TOTAL = 10489 SQFT±
 PROPOSED HOUSE = 1364 SQFT±
 PROPOSED PORCH/DECK = 634 SQFT±
 PROPOSED PAVED DRIVEWAY = 1168 SQFT±
 TOTAL IMPERVIOUS COVERAGE = 30%
 HOUSE COVERAGE = 13% 19%

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Rev. 4.16.2026

LEGEND

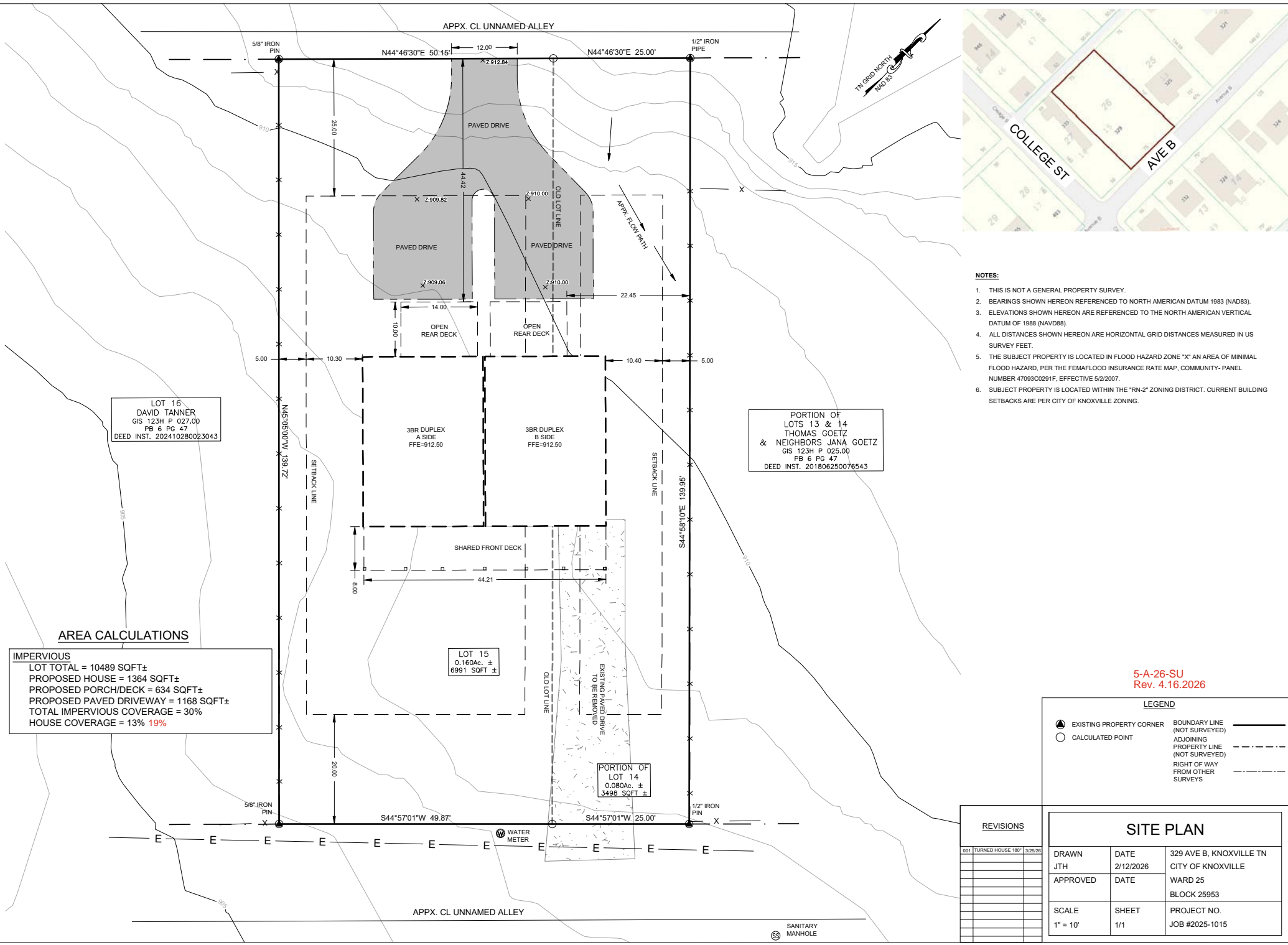
●	EXISTING PROPERTY CORNER	——	BOUNDARY LINE (NOT SURVEYED)
○	CALCULATED POINT	- - - -	ADJOINING PROPERTY LINE (NOT SURVEYED)
		- · - · -	RIGHT OF WAY FROM OTHER SURVEYS

REVISIONS

001	TURNED HOUSE 180°	3/22/26

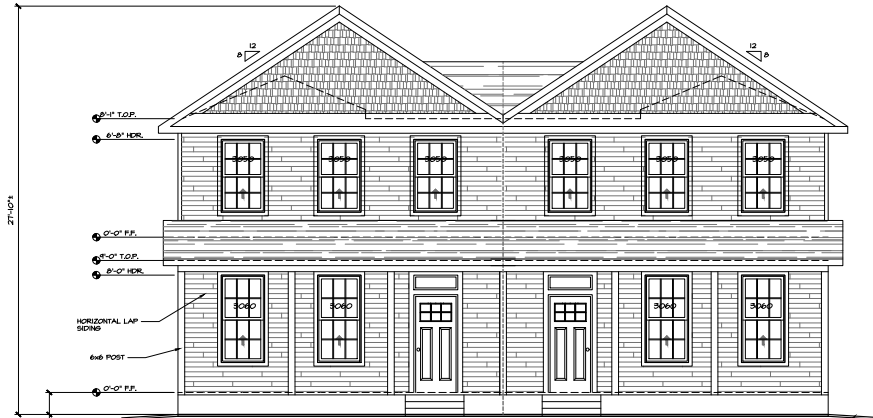
SITE PLAN

DRAWN	DATE	329 AVE B, KNOXVILLE TN CITY OF KNOXVILLE
JTH	2/12/2026	
APPROVED	DATE	WARD 25 BLOCK 25953
SCALE	SHEET	PROJECT NO.
1" = 10'	1/1	JOB #2025-1015



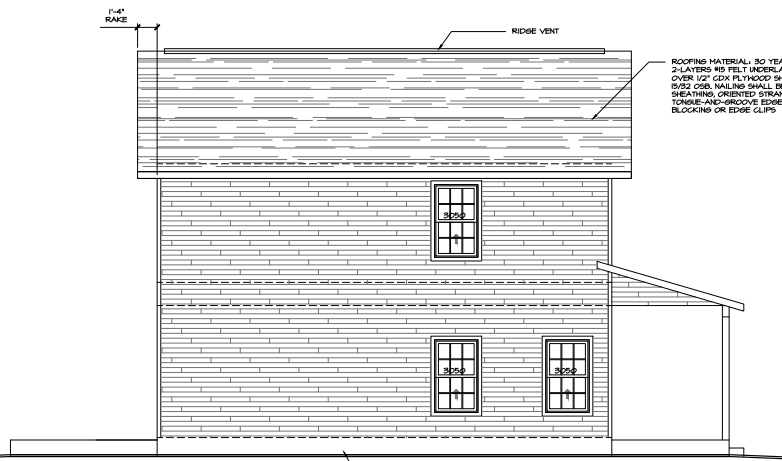


REAR ELEVATION



FRONT ELEVATION

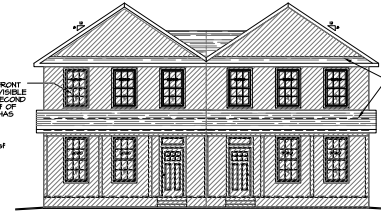
FINISH GRADE TO SLOPE 5% AWAY FROM BUILDING 5' MIN



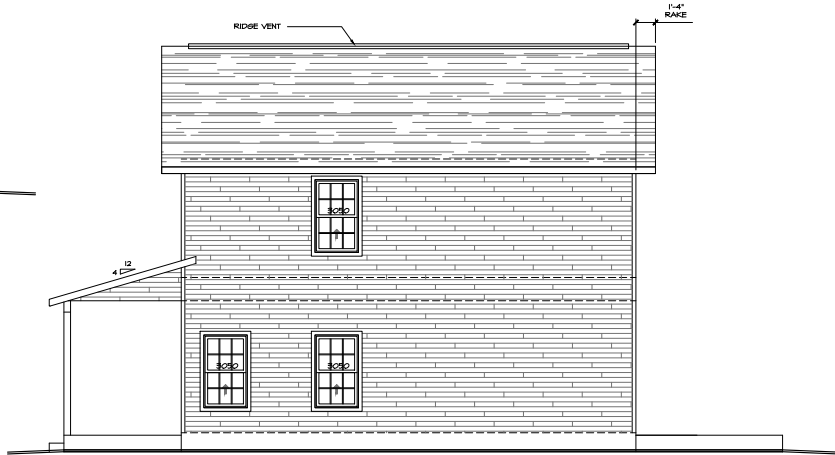
LEFT ELEVATION

ROOFING MATERIAL: 50 YEAR COMP. ROOFING OVER 2 LAYERS HD FELT UNDERLAYMENT LAPPED 1" UNDERLAYMENT OVER 1/2" CDX PLYWOOD SHEATHING (PANEL INDEX 2410), OR 5/8" OSB VAUING SHALL BE 6'4" x 6'-0" PLYWOOD SHEATHING. ORIENTED STRAND BOARD REQUIRE TONGUE-AND-GROOVE EDGES OR MUST BE SUPPORTED BY BLOCKING OR EDGE CLIPS

86" W OF FRONT HALL INCLUDES FRONT FOUNDATION AND GABLE ROOFS. VISIBLE ROOFING AT FRONT PORCH AND SECOND FLOOR NOT INCLUDED. 158'-0" SQ FT OF TRANSPARENTS HALL ELEVATION HAS
 (6) 3'-0" x 5'-0" WINDOWS = 40sf
 (4) 3'-0" x 6'-0" WINDOWS = 72sf
 (2) 3'-0" x 10'-0" WINDOWS = 60sf
 (2) 2'-0" x 10'-0" DOOR WINDOWS = 56sf
 TOTAL GLAZING = 138sf = 20%



ROOF SHINGLE MATERIAL AT FRONT PORCH AND SECOND FLOOR EXTERIOR LINES



RIGHT ELEVATION

SPLIT FACE BLOCK FOUNDATION SYSTEM

REVISIONS	BY

PROJECT: POWER DUPLEX PROJECT
 324 AVENUE B
 KNOXVILLE TN

PROJECT: EXTERIOR ELEVATIONS

DATE: 4/16/2026
 SCALE: 1/4" = 1'-0"

DRAWN: R.J.
 JOB: POK25052
 SHEET: A201



A&R DESIGN & DRAFTING SERVICE, INC.
 1608 W. GUY WOODS BLVD.
 KNOXVILLE, TN 37918
 (615) 594-8812

CONTRACT NOTES AND SPECIFICATIONS: THESE CONTRACT NOTES, SPECIFICATIONS, AND OPERATIONS SHALL BE READ IN CONJUNCTION WITH THE DRAWINGS AND SHALL BE CONSIDERED PART OF THE CONTRACT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL, STATE, AND FEDERAL AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL, STATE, AND FEDERAL AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL, STATE, AND FEDERAL AGENCIES.

Public Notice and Community Engagement

Planning strives to provide community members with information about upcoming cases in a variety of ways. In addition to posting public notice signs, our agency encourages applicants to provide information and offer opportunities for dialogue related to their upcoming case(s). The contact information you provide in your application may be used for that purpose. We require applicants to acknowledge their role in this process.

Sign Posting and Removal

The Administrative Rules and Procedures of the Knoxville-Knox County Planning Commission require a sign to be posted on the property for each application subject to consideration by the Planning Commission.

Planning staff will post the required sign. If a replacement sign(s) is needed, the applicant is responsible for picking up the new sign(s) from Planning and will be charged \$10 for each replacement.

Location and Visibility

The sign must be posted on the nearest adjacent/frontage street and in a location clearly visible to vehicles traveling in either direction. If the property has more than one street frontage, the sign should be placed along the street that carries more traffic. Planning staff may recommend a preferred location for the sign to be posted at the time of application.

Timing

The sign(s) must be posted not less than 12 days prior to the scheduled Planning Commission public hearing and must remain in place until the day after the meeting. In the case of a postponement, the sign can either remain in place or be removed and reposted not less than 12 days prior to the next Planning Commission meeting. The applicant is responsible for removing the sign after the application has been acted upon by the Planning Commission.

Acknowledgement

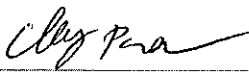
By signing below, you acknowledge that public notice signs must be posted and visible on the property consistent with the guidelines above and between the dates listed below.

Have you engaged the surrounding property owners to discuss your request?

- Yes No
 No, but I plan to prior to the Planning Commission meeting

Date to be Posted

Date to be Removed



Applicant Signature

Clay Powers

Applicant Name

03/25/2026

Date