



USE ON REVIEW REPORT

▶ **FILE #:** 5-A-26-UR

AGENDA ITEM #: 51

AGENDA DATE: 5/14/2026

▶ **APPLICANT:** TYLER STINNETT

OWNER(S): GDP Properties

TAX ID NUMBER: 96 E A 006

[View map on KGIS](#)

JURISDICTION: County Commission District 9

STREET ADDRESS: 3098 E GOVERNOR JOHN SEVIER HWY (3096, 3094, 3092, 3090)

▶ **LOCATION:** **East side of E Governor John Sevier Hwy, southwest of Thorn Grove Pike**

▶ **APPX. SIZE OF TRACT:** **16682 square feet**

GROWTH POLICY PLAN: Planned Growth Area

ACCESSIBILITY: Access is via E Governor John Sevier Highway, a state-owned major arterial with two lanes and a center turn lane within a 104-ft right-of-way.

UTILITIES: Water Source: Knoxville Utilities Board

Sewer Source: Knoxville Utilities Board

FIRE DISTRICT: Rural Metro Fire

WATERSHED: Swanpond Creek

▶ **ZONING:** **RB (General Residential)**

PLACE TYPE: CMU (Corridor Mixed-use)

▶ **EXISTING LAND USE:** **Agriculture/Forestry/Vacant Land**

▶ **PROPOSED USE:** **5-unit attached dwelling development**

DENSITY PROPOSED: 13.2 du/ac

HISTORY OF ZONING: None noted.

SURROUNDING LAND USE AND ZONING: North: Multifamily residential - RB (General Residential)

South: Office - I (Industrial)

East: Rural residential - RB (General Residential)

West: Wholesale, agriculture/forestry/vacant land - I (Industrial)

NEIGHBORHOOD CONTEXT: This section of E Governor John Sevier Highway is characterized by a mix of intensive commercial, office, wholesale, and industrial uses interspersed with single family houses, small apartment buildings, and undeveloped forested tracts. The subject property lies 0.25 miles to the southwest from Marble Springs State Historic Site and 0.5 miles to the west of quarries near the railroad tracks.

STAFF RECOMMENDATION:

▶ **Approve the request for a 5-unit attached dwelling in the RB (General Residential) zone, subject to 7 conditions.**

1. Meeting all applicable requirements of the Knox County Zoning Ordinance.
2. Meeting all applicable requirements of the Knox County Department of Engineering and Public Works, including, but not limited to, applying for General Aquatic Resource Alteration Permits (GARAP) with TDEC to mitigate a potential wetland.
3. Meeting all applicable requirements of the Tennessee Department of Transportation.
4. Connecting to sanitary sewer and meeting other relevant utility provider requirements.
5. Installing a continuous row of evergreen shrubs along the front property line, with a minimum height of 2 ft at maturity.
6. The maximum height of the attached dwellings shall not exceed 36 ft.
7. If during plat approval or construction of the development, it is discovered that unforeseen off-site improvements within the right-of-way are necessary as caused by this development, the developer will either enter into a Memorandum of Understanding with the County for these improvements or reimburse the County for their direct expenses (if completed by County crews) to make corrections deemed necessary.

COMMENTS:

This request is for a 5-unit, 2-story townhouse on a 0.38-acre lot, yielding a density of 13.16 du/ac. The RB zone requires use-on-review approval for multi-dwelling structures and developments at a density of 12 to 24 du/ac. The lot is part of an existing townhouse subdivision along E Governor John Sevier Highway, with 5 other lots each accommodating a 4-unit townhouse.

DEVELOPMENT STANDARDS FOR USES PERMITTED ON REVIEW (ARTICLE 4.10, SECTION 2)

The planning commission, in the exercise of its administrative judgment, shall be guided by adopted plans and policies, including the general plan and the following general standards:

1) THE USE IS CONSISTENT WITH ADOPTED PLANS AND POLICIES, INCLUDING THE COMPREHENSIVE PLAN OF KNOX COUNTY.

- A. The property is designated with the CMU (Corridor Mixed-Use) place type in the Comprehensive Plan, which recommends attached dwellings as a secondary use in this area. The proposed development is consistent with the CMU place type's recommended building height of 2-5 stories and setbacks of 20-30 ft.
- B. Although the design of the proposed structure differs from the existing townhouses, the proposed use is consistent with the Comprehensive Plan's Implementation Policy 2, to ensure that development is sensitive to existing community character.
- C. The proposed development is supported by the East County Community Plan, which identifies E Governor John Sevier Highway as a Development Corridor.
- D. The proposed development is also compatible with the subject property's location in the Planned Growth Area of the Growth Policy Plan, which encourages a reasonably compact pattern of development offering a wide range of housing choices.
- E. The recommended condition for installing shrubs along the property's front is consistent with the Governor John Sevier Scenic Highway Corridor Study's recommendation to screen parking lots of multi-family residential projects. The subject property is fairly small and was created prior to the corridor study. The proposed location of the structure aligns with the other townhouse structures in this development. The corridor study recommends a 50-ft landscape screen, but there is limited space between the parking lot and the right-of-way, so larger plants may not be feasible.

2) THE USE IS IN HARMONY WITH THE GENERAL PURPOSE AND INTENT OF THE ZONING ORDINANCE.

- A. The RB zone is intended to provide for medium population density with principal uses of land ranging from houses to multi-dwelling structures or developments. The RB zone requires use-on-review approval for multi-dwelling structures and developments at a density of 12 to 24 du/ac.
- B. The proposed development is consistent with the intent of the zoning ordinance. The site plan and elevations as provided conform to the dimensional standards of the RB zone (Article 5.12.05 - 5.12.10) and off-street parking requirements (Article 3.50 - 3.51).
- C. Article 5.12.11 specifies that the height of multi-dwelling structures approved as a use-on-review shall be determined by the Planning Commission. Staff recommends a maximum building height of 36 ft, consistent with the maximum height for houses and duplexes in the RB zone.

3) THE USE IS COMPATIBLE WITH THE CHARACTER OF THE NEIGHBORHOOD WHERE IT IS PROPOSED, AND WITH THE SIZE AND LOCATIONS OF BUILDINGS IN THE VICINITY.

- A. This segment of E Governor John Sevier Highway is predominantly characterized by nonresidential uses, including commercial, light industrial, office, and warehousing and wholesale uses. The proposed 2-story

attached dwellings are compatible with adjacent townhouses to the north and comparable in size and scale with the existing residential structures.

4) THE USE WILL NOT SIGNIFICANTLY INJURE THE VALUE OF ADJACENT PROPERTY BY NOISE, LIGHTS, FUMES, ODORS, VIBRATION, TRAFFIC CONGESTION OR OTHER IMPACTS WHICH MAY DETRACT FROM THE IMMEDIATE ENVIRONMENT.

A. The proposed townhouse structure is not expected to adversely impact any nearby properties. The recommended condition to incorporate a landscape screen in front of the parking lot will enhance the area's aesthetics.

5) THE USE IS NOT OF A NATURE OR SO LOCATED AS TO DRAW SUBSTANTIAL ADDITIONAL TRAFFIC THROUGH RESIDENTIAL STREETS.

A. The proposed structure will use the existing driveway system of the townhouse subdivision off of E Governor John Sevier Highway and will not impact traffic on any residential streets.

6) THE NATURE OF DEVELOPMENT IN THE SURROUNDING AREA IS NOT SUCH AS TO POSE A POTENTIAL HAZARD TO THE PROPOSED USE OR TO CREATE AN UNDESIRABLE ENVIRONMENT FOR THE PROPOSED USE.

A. Although the property is located along a nonresidential corridor involving some industrial uses, no hazards are anticipated for an addition to the existing townhouse development. The abutting southern property, currently used by a foundation repair company, is separated by an existing fence and some vegetation, and the use does not produce any noxious odors or noise.

ESTIMATED TRAFFIC IMPACT: 36 (average daily vehicle trips)

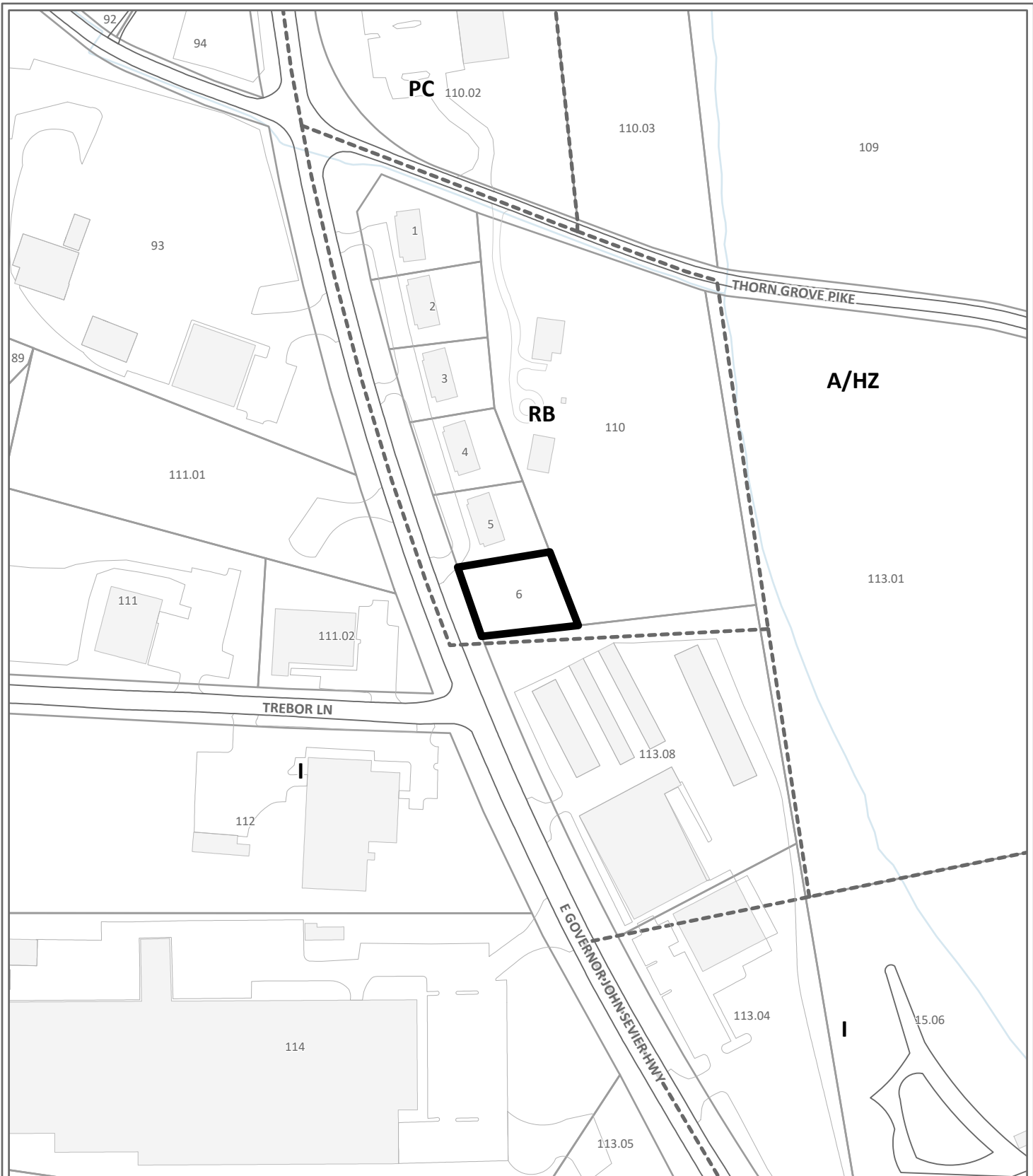
Average Daily Vehicle Trips are computed using national average trip rates reported in the latest edition of "Trip Generation," published by the Institute of Transportation Engineers. Average Daily Vehicle Trips represent the total number of trips that a particular land use can be expected to generate during a 24-hour day (Monday through Friday), with a "trip" counted each time a vehicle enters or exits a proposed development.

ESTIMATED STUDENT YIELD: 0 (public school children, grades K-12)

Schools affected by this proposal: Sunnyview Pr/Chilhowee Int, Carter Middle, and Carter High.

- Potential new school population is estimated using locally-derived data on public school student yield generated by new housing.
- Students are assigned to schools based on current attendance zones as determined by Knox County Schools. Students may request transfers to different zones, and zone boundaries are subject to change.
- Estimates presume full build-out of the proposed development. Build-out is subject to market forces, and timing varies widely from proposal to proposal.
- Student yields from new development do not reflect a net addition of children in schools. Additions occur incrementally over the build-out period. New students may replace current population that ages through the system or moves from the attendance zone.

The Planning Commission's approval or denial of this request is final, unless the action is appealed. For more information on the appeal process, contact Knoxville-Knox County Planning.



USE ON REVIEW

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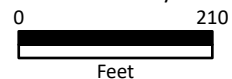
Petitioner: Tyler Stinnett



5-unit attached dwelling development in RB (General Residential)

Map No: 96

Jurisdiction: County



Original Print Date: 4/8/2026

Knoxville - Knox County Planning Commission * City / County Building * Knoxville, TN 37902

Exhibit A. Contextual Images



AERIAL MAP



Case boundary

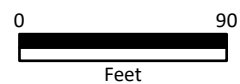
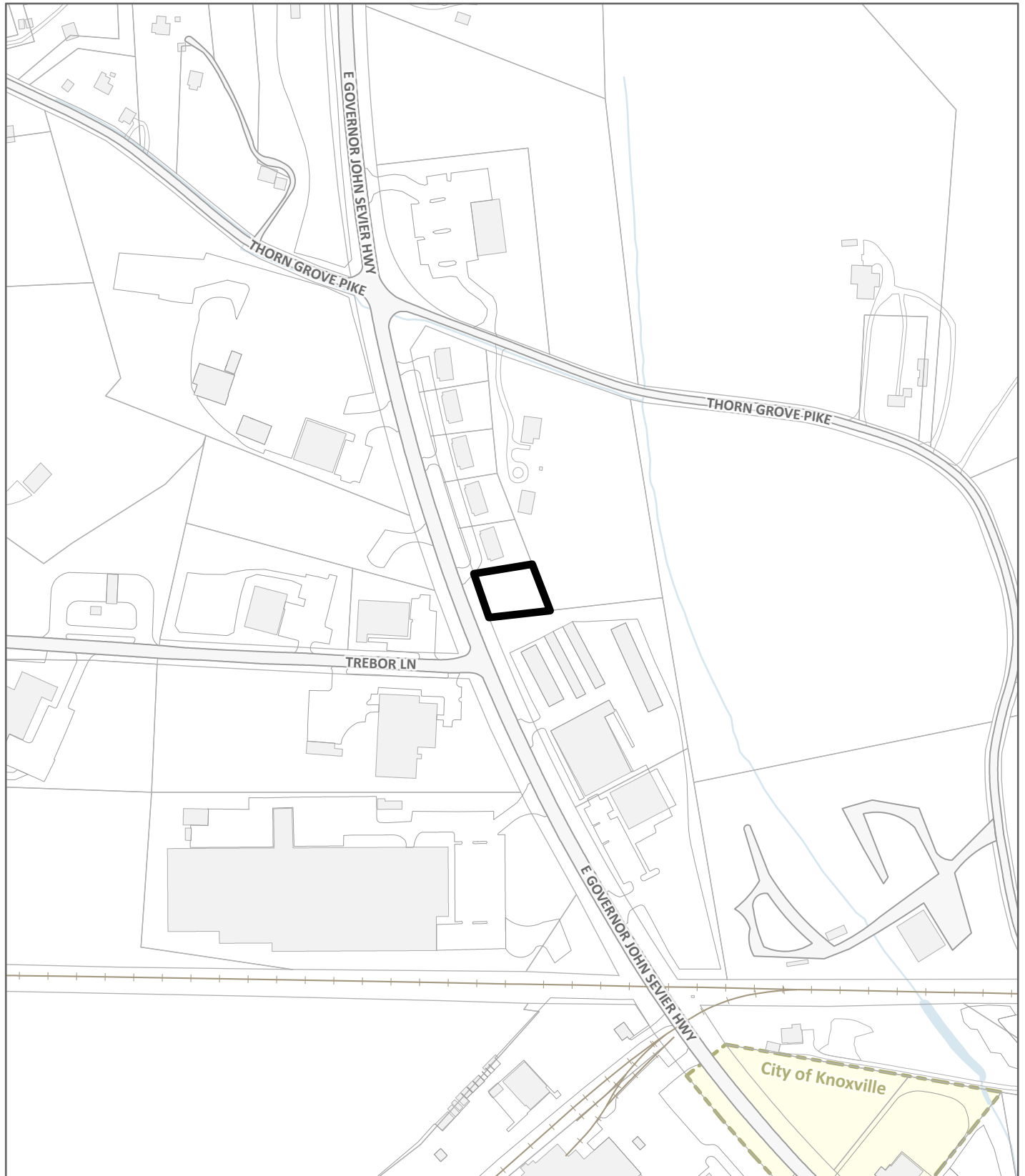


Exhibit A. Contextual Images



LOCATION MAP




5-A-26-UR



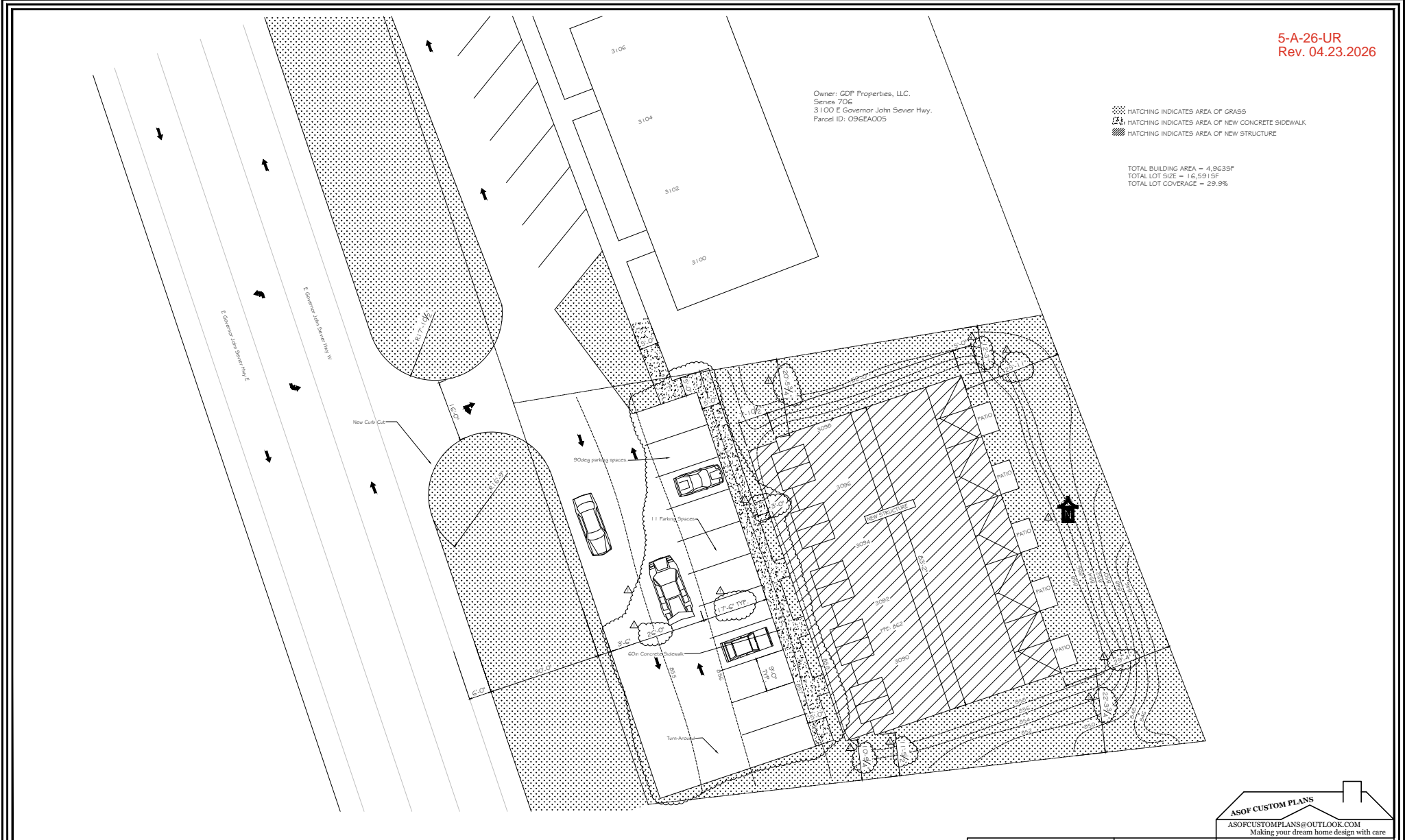
Case boundary



Owner: GDP Properties, LLC.
Series 70G
3100 E Governor John Sevier Hwy.
Parcel ID: 09GEA005

 HATCHING INDICATES AREA OF GRASS
 HATCHING INDICATES AREA OF NEW CONCRETE SIDEWALK
 HATCHING INDICATES AREA OF NEW STRUCTURE

TOTAL BUILDING AREA - 4,963SF
 TOTAL LOT SIZE - 16,591SF
 TOTAL LOT COVERAGE - 29.9%



Every attempt has been made to ensure these plans meet the ICC IRC 2024 Code and provide the required information and detail to allow code compliant construction of the proposed structure. However it is the contractor and MEP sub-trades responsibility to ensure that all construction methods, materials, installation and workmanship are performed to and meet the ICC codes, state requirements and adopted ordinances and zoning requirements of the local jurisdiction.

Site Plan
Scale: 1/8" = 1'-0"

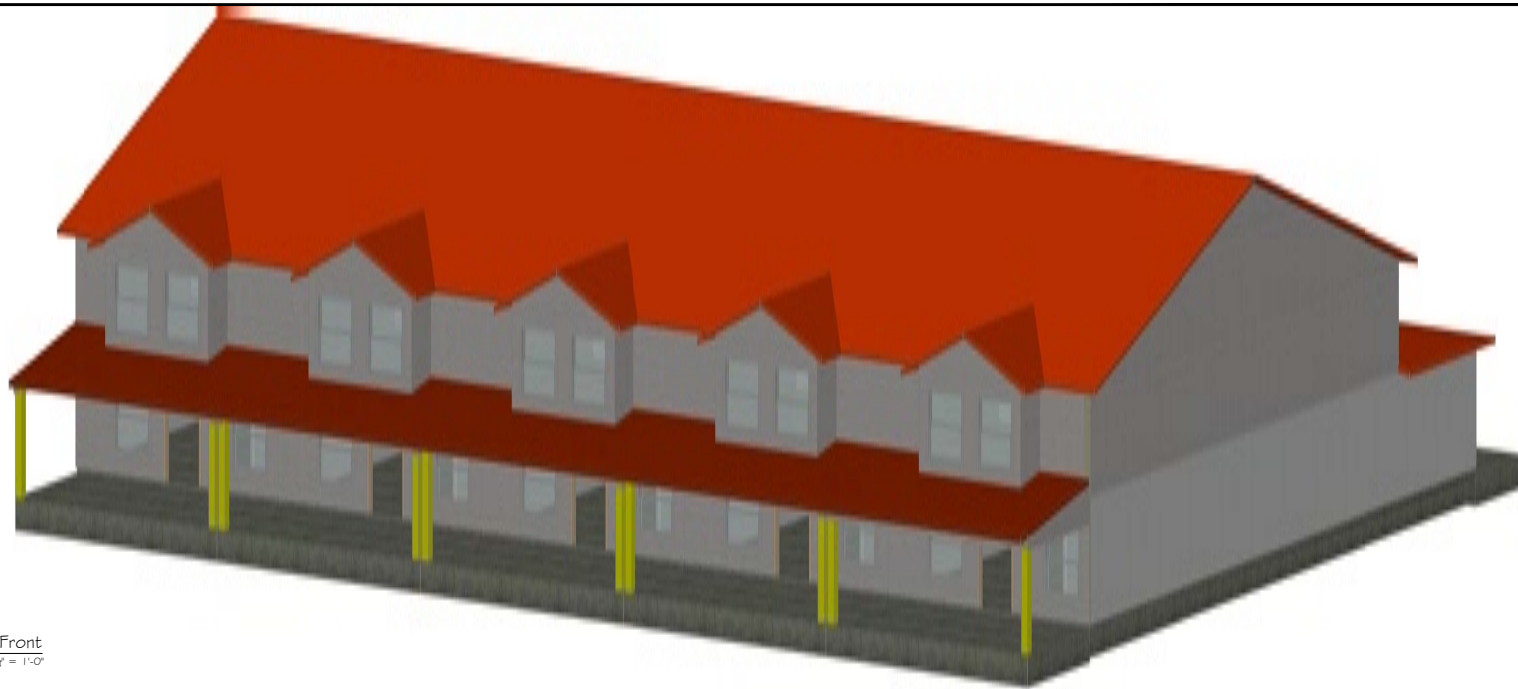
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SHEET
P-01
 Revision: April 21, 2026 (1)
 Revision:
 Revision:

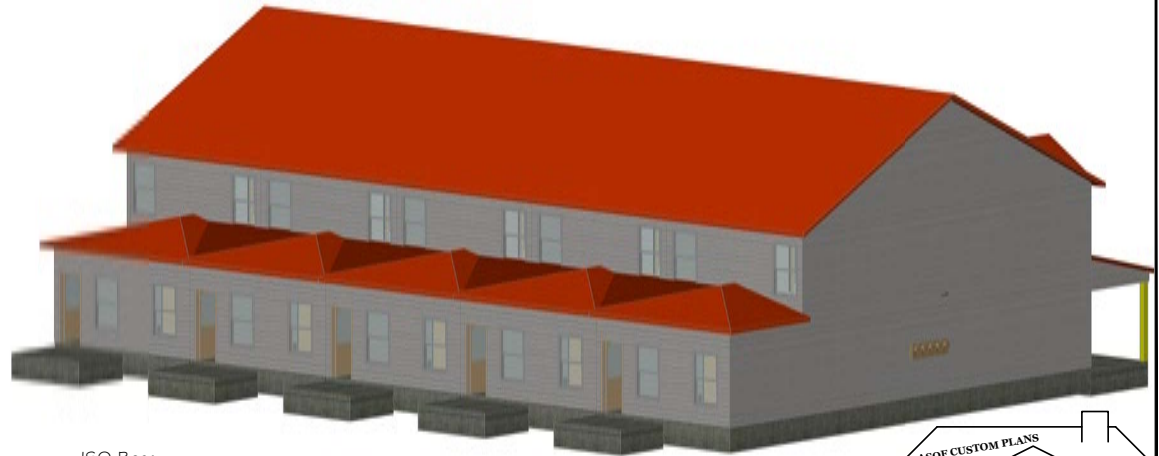
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| | |
|----------------------|---|
| Project Information | 5 Unit Town House Project |
| Project Description: | Two Story 5 unit 3 bed 2.5 bath slab floor |
| Project Name: | GDP Properties |
| Address: | John Sevier Highway Knoxville, Tennessee |
| Contractor: | Tyler Stimett |
| Phone: | (865) 256-0334 |
| Plan ID: | 2025-P01/8 |
| Date Drawn: | October 4, 2025 |



ISO Front
Scale: 1/8" = 1'-0"



ISO Rear
Scale: 1/8" = 1'-0"

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SHEET
A-01

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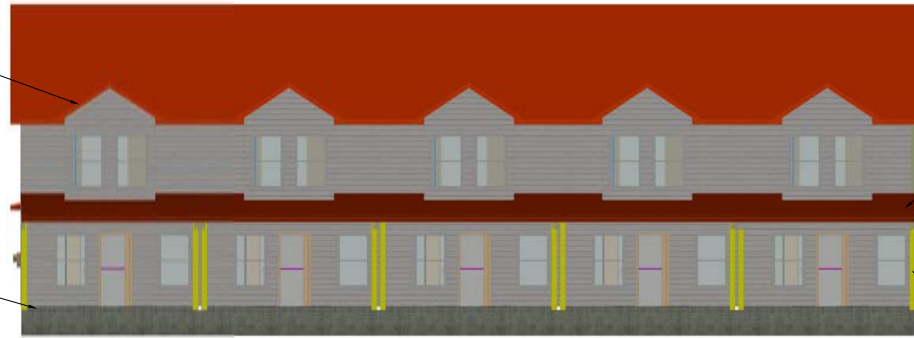
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Project Information: 5 Unit Town House Project
Project Description: Two Story 5 unit 3 bed 2.5 bath slab floor
Project Name: GDP Properties
Address: John Sevier Highway
Contractor: Knoxville, Tennessee
Phone: Tyler Stimett
Project Number: (865) 256-8034
Plan ID: 2025-P018
Date Drawn: October 4, 2025



Rear Elevation
Scale: 1/8" = 1'-0"

8:12 slope gables with dimensional shingles.



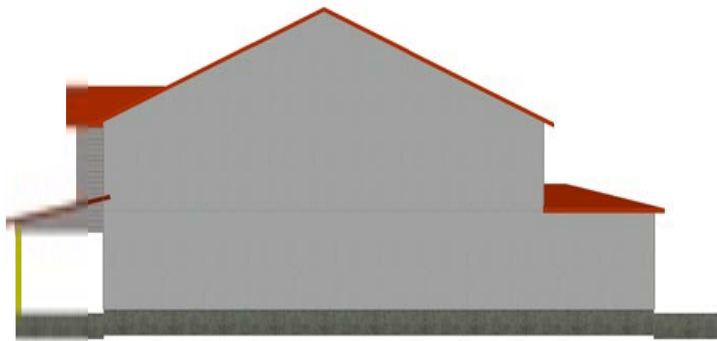
Front Elevation
Scale: 1/8" = 1'-0"

Turn down footing slab on grade. Porch and patio to be 4in below finished floor elevation.

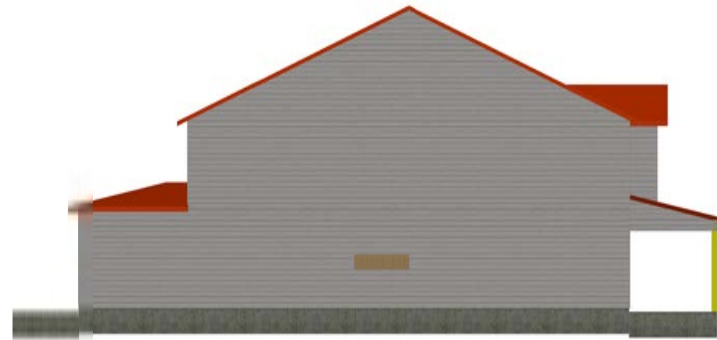
Dimensional shingles 6:12 slope.

Standing Seam metal roofing 3:12 slope.

6x6 FT post wrapped with alum. to match siding color.



Right Elevation
Scale: 1/8" = 1'-0"



Left Elevation
Scale: 1/8" = 1'-0"

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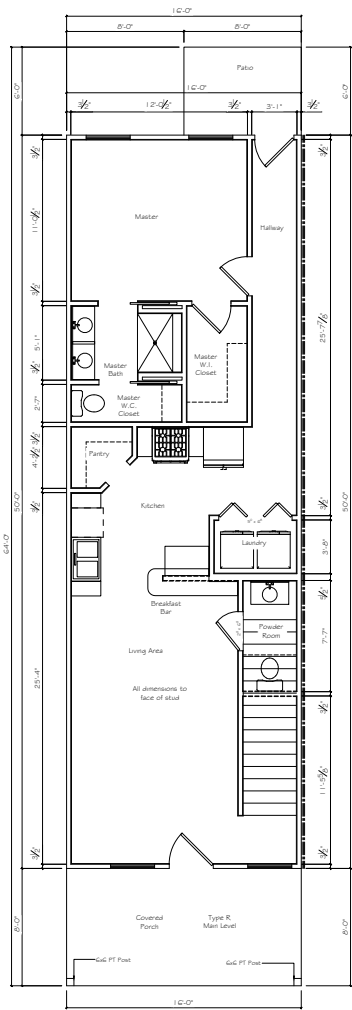
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A-02

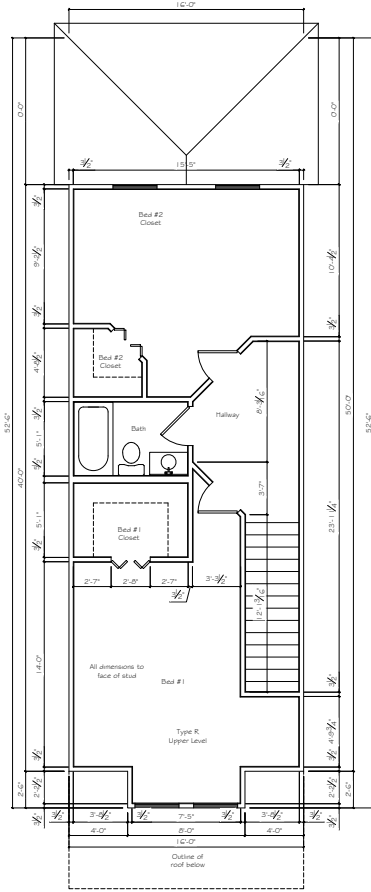
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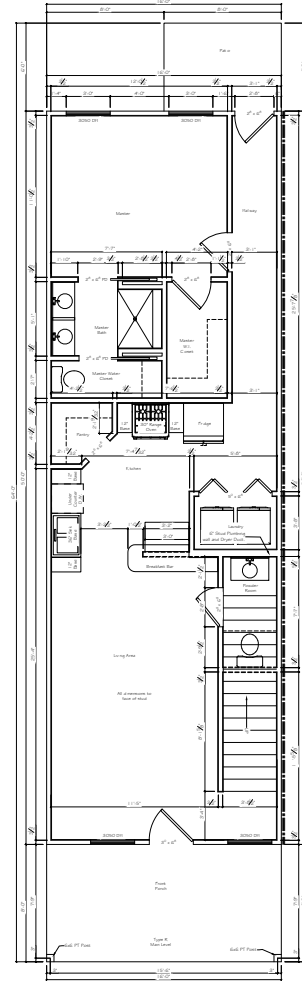
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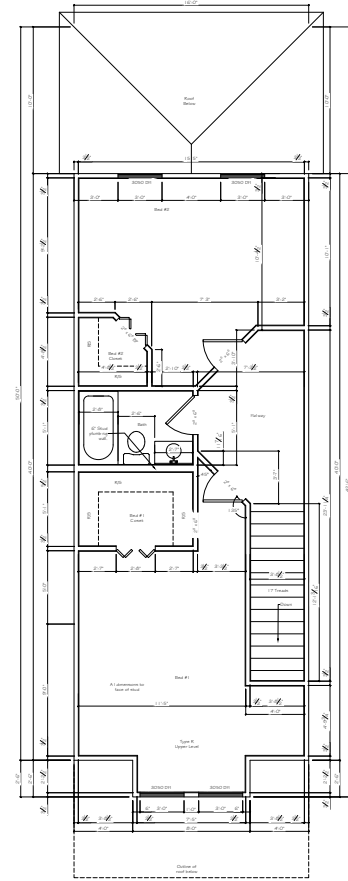
Unit A-E Main Floor Plan
Scale: 1/4" = 1'-0"



Unit A-E Second Floor Plan
Scale: 1/4" = 1'-0"



Unit A-E Main Floor Detail Plan
Scale: 1/4" = 1'-0"



Unit A-E Second Floor Detail Plan
Scale: 1/4" = 1'-0"

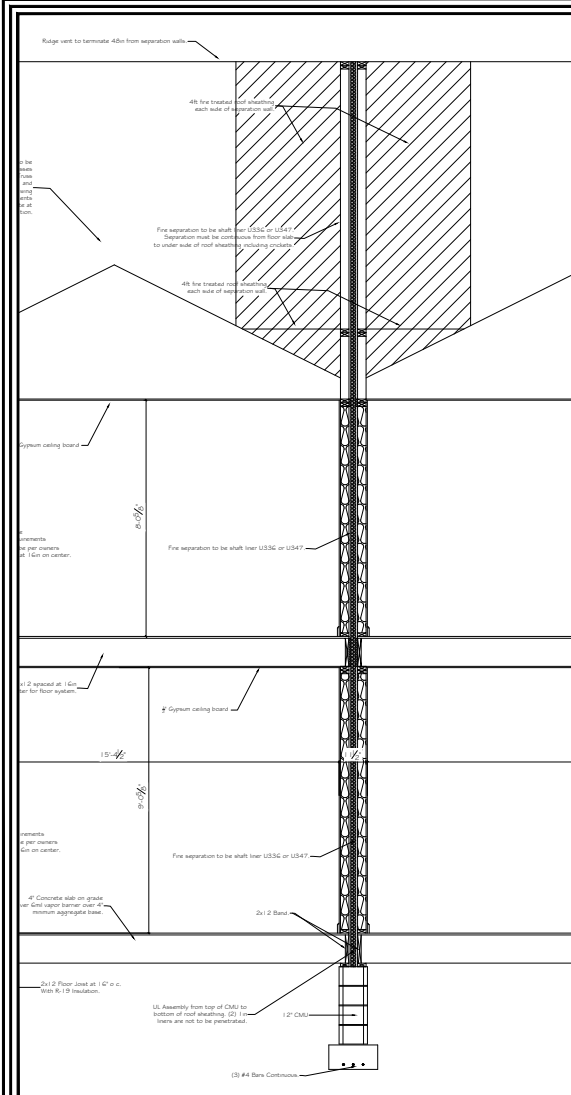
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Project Description: Two Story 5 unit 3 bed 2.5 bath slab floor
Project Name: GDP Properties
Address: John Sevier Highway
Address: Knoxville, Tennessee
Contractor: Tyler Stinnett
Phone: (865) 256-8034
Plan ID: 2025-P1018
Date Drawn: October 4, 2025



Fire Rated Assembly at top of Foundation
Scale: 1/4" = 1'-0"



Fire Rated Assembly Walls
Scale: 1/4" = 1'-0"

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SHEET
F-01

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Date Drawn: October 4, 2025

Public Notice and Community Engagement

Planning strives to provide community members with information about upcoming cases in a variety of ways. In addition to posting public notice signs, our agency encourages applicants to provide information and offer opportunities for dialogue related to their upcoming case(s). The contact information you provide in your application may be used for that purpose. We require applicants to acknowledge their role in this process.

Sign Posting and Removal

The Administrative Rules and Procedures of the Knoxville-Knox County Planning Commission require a sign to be posted on the property for each application subject to consideration by the Planning Commission.

Planning staff will post the required sign. If a replacement sign(s) is needed, the applicant is responsible for picking up the new sign(s) from Planning and will be charged \$10 for each replacement.

Location and Visibility

The sign must be posted on the nearest adjacent/frontage street and in a location clearly visible to vehicles traveling in either direction. If the property has more than one street frontage, the sign should be placed along the street that carries more traffic. Planning staff may recommend a preferred location for the sign to be posted at the time of application.

Timing

The sign(s) must be posted not less than 12 days prior to the scheduled Planning Commission public hearing and must remain in place until the day after the meeting. In the case of a postponement, the sign can either remain in place or be removed and reposted not less than 12 days prior to the next Planning Commission meeting. The applicant is responsible for removing the sign after the application has been acted upon by the Planning Commission.

Acknowledgement

By signing below, you acknowledge that public notice signs must be posted and visible on the property consistent with the guidelines above and between the dates listed below.

~~3/27/26~~ 05/02/2026 ~~4/20~~ 05/15/2026

Date to be Posted

Date to be Removed

Have you engaged the surrounding property owners to discuss your request?

Yes No

No, but I plan to prior to the Planning Commission meeting

Authentisign
Tyler W Stinnett

Applicant Signature

Tyler Stinnett

Applicant Name

02/16/26

Date