



DEVELOPMENT PLAN REPORT

▶ **FILE #:** 5-C-26-DP

AGENDA ITEM #: 48

AGENDA DATE: 5/14/2026

▶ **APPLICANT:** 1308 KNOX CREEK LLC

OWNER(S): 1308 Knox Creek LLC

TAX ID NUMBER: 130 E N 01201

[View map on KGIS](#)

JURISDICTION: County Commission District 6

STREET ADDRESS: 11469 GOLDENVIEW LN

▶ **LOCATION:** Southwest side of Goldenview Ln, east of Snyder Rd

▶ **APPX. SIZE OF TRACT:** 0.61 acres

GROWTH POLICY PLAN: Planned Growth Area

ACCESSIBILITY: Access is via Goldenview Lane, an unstriped local street with a cul-de-sac within a right-of-way width that varies from 45-100 ft.

UTILITIES: Water Source: First Knox Utility District

Sewer Source: First Knox Utility District

FIRE DISTRICT: Rural Metro Fire

WATERSHED: Turkey Creek

▶ **ZONING:** PR (Planned Residential) up to 3.5 du/ac

PLACE TYPE: RC (Rural Conservation)

▶ **EXISTING LAND USE:** Single Family Residential

▶ **PROPOSED USE:** Creation of a new lot for a single family dwelling

DENSITY PROPOSED: 2.94 du/ac

HISTORY OF ZONING: In 1993 the property was rezoned from A (Agricultural) to PR (Planned Residential) up to 3.5 du/ac (10-I-93-RZ).

SURROUNDING LAND USE AND ZONING: North: Single family residential - PR (Planned Residential) up to 3.5 du/ac

South: Single family residential - RA (Low Density Residential)

East: Single family residential - PR (Planned Residential) up to 3.5 du/ac

West: Rural residential - A (Agricultural)

NEIGHBORHOOD CONTEXT: The surrounding area predominantly features single family subdivisions off of side streets interspersed with single family houses on large lots off of main thoroughfares.

STAFF RECOMMENDATION:

▶ **Approve the development plan for the creation of a new lot for a detached dwelling, subject to 5 conditions.**

1. Meeting all applicable requirements of the Knox County Zoning Ordinance.
2. Meeting all requirements of the Knox County Department of Engineering and Public Works.
3. Meeting all relevant utility requirements.

4. Subdividing the property as shown on the site plan, meeting all applicable requirements of the Subdivision Regulations and standard platting process.
5. If during plat approval or construction of the development, it is discovered that unforeseen off-site improvements within the right-of-way are necessary, the developer will either enter into a Memorandum of Understanding with the County for these improvements or reimburse the County for their direct expenses (if completed by County crews) to make corrections deemed necessary.

COMMENTS:

This request is to subdivide a 26,703-sq ft parcel in the Goldenview subdivision, creating a new 10,129-sq ft lot to the north of the existing house. The parcel was originally approved in concept plan 1-SA-94-C/1-F-94-UR in 1994 as two lots with an identical configuration to the proposed layout and subsequently platted, before being merged via a 2011 plat.

DEVELOPMENT PLAN ANALYSIS PER ARTICLE 6, SECTION 6.50.06 (APPROVAL OR DENIAL)

In the exercise of its administrative judgment, the Planning Commission shall determine if the proposed plan is in harmony with the general purpose and intent of the zoning ordinance and adopted plans.

1) ZONING ORDINANCE

PR (Planned Residential) with up to 3.5 du/ac:

- A. The PR zone allows detached dwellings as a permitted use. The administrative procedures for the PR zone require the Planning Commission to approve the development plan before permits can be issued (Article 5, Section 5.13.15).
- B. The addition of one dwelling unit will result in a density of 3.26 du/ac for the subject parcel and an approximate density of 2.94 du/ac for the entire subdivision, both of which are consistent with the maximum allowed density of 3.5 du/ac.
- C. The proposed site plan meets the applicable setback requirements for the existing house and the proposed new house.

2) KNOX COUNTY COMPREHENSIVE PLAN - FUTURE LAND USE MAP

- A. The property is classified as the RC (Rural Conservation) place type in the Knox County Comprehensive Plan, which lists detached dwellings as a primary use, with a focus on conservation pattern. The place type requires a conservation of at least 50% spaces within a given subdivision as open spaces. However, the Goldenview subdivision was created in the 1990s, long before the adoption of the Comprehensive Plan, so this requirement will not apply to the subject parcel.
- B. The place type recommends a building height maximum of 2 stories and specifies that setbacks can be varied. The proposed detached dwelling shall meet all applicable dimensional requirements of the PR zone.

3) KNOX COUNTY COMPREHENSIVE PLAN - IMPLEMENTATION POLICIES

- A. Ensure that development is sensitive to existing community character. (Implementation Policy 2) - A detached house would be compatible with other single-family residences in the subdivision. As mentioned before, the proposed lot layout is identical to the original layout of the subdivision.

4) KNOXVILLE - FARRAGUT - KNOX COUNTY GROWTH POLICY PLAN

- A. The property is within the Planned Growth Area. The purposes of the Planned Growth Area designation are to encourage a reasonably compact pattern of development, promote the expansion of the Knox County economy, offer a wide range of housing choices, and coordinate the actions of the public and private sectors, particularly with regard to the provision of adequate roads, utilities, schools, drainage and other public facilities and services. This development is in alignment with these goals.

ESTIMATED TRAFFIC IMPACT: 28 (average daily vehicle trips)

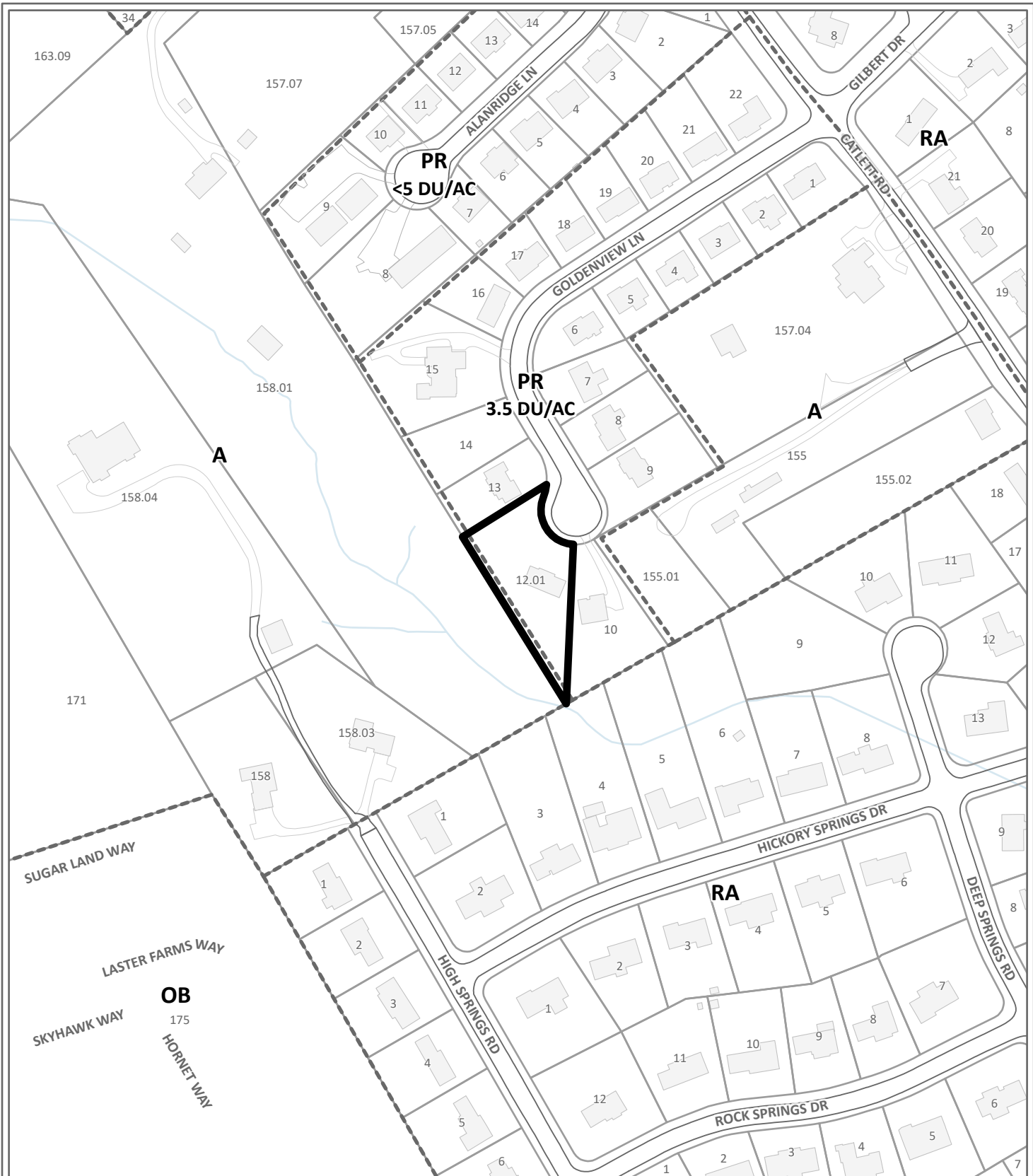
Average Daily Vehicle Trips are computed using national average trip rates reported in the latest edition of "Trip Generation," published by the Institute of Transportation Engineers. Average Daily Vehicle Trips represent the total number of trips that a particular land use can be expected to generate during a 24-hour day (Monday through Friday), with a "trip" counted each time a vehicle enters or exits a proposed development.

ESTIMATED STUDENT YIELD: 1 (public school children, grades K-12)

Schools affected by this proposal: Farragut Primary/Intermediate, Hardin Valley Middle, and Hardin Valley Academy.

- Potential new school population is estimated using locally-derived data on public school student yield generated by new housing.
- Students are assigned to schools based on current attendance zones as determined by Knox County Schools. Students may request transfers to different zones, and zone boundaries are subject to change.
- Estimates presume full build-out of the proposed development. Build-out is subject to market forces, and timing varies widely from proposal to proposal.
- Student yields from new development do not reflect a net addition of children in schools. Additions occur incrementally over the build-out period. New students may replace current population that ages through the system or moves from the attendance zone.

The Planning Commission's approval or denial of this request is final, unless the action is appealed. For more information on the appeal process, contact Knoxville-Knox County Planning.



DEVELOPMENT PLAN

5-C-26-DP

Petitioner: 1308 Knox Creek LLC



Creation of a new lot for a single family dwelling in PR (Planned Residential) up to 3.5 du/ac

Original Print Date: 4/8/2026

*Knoxville - Knox County Planning Commission * City / County Building * Knoxville, TN 37902*

Map No: 130

Jurisdiction: County

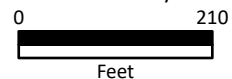


Exhibit A. Contextual Images



AERIAL MAP



Case boundary

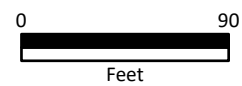
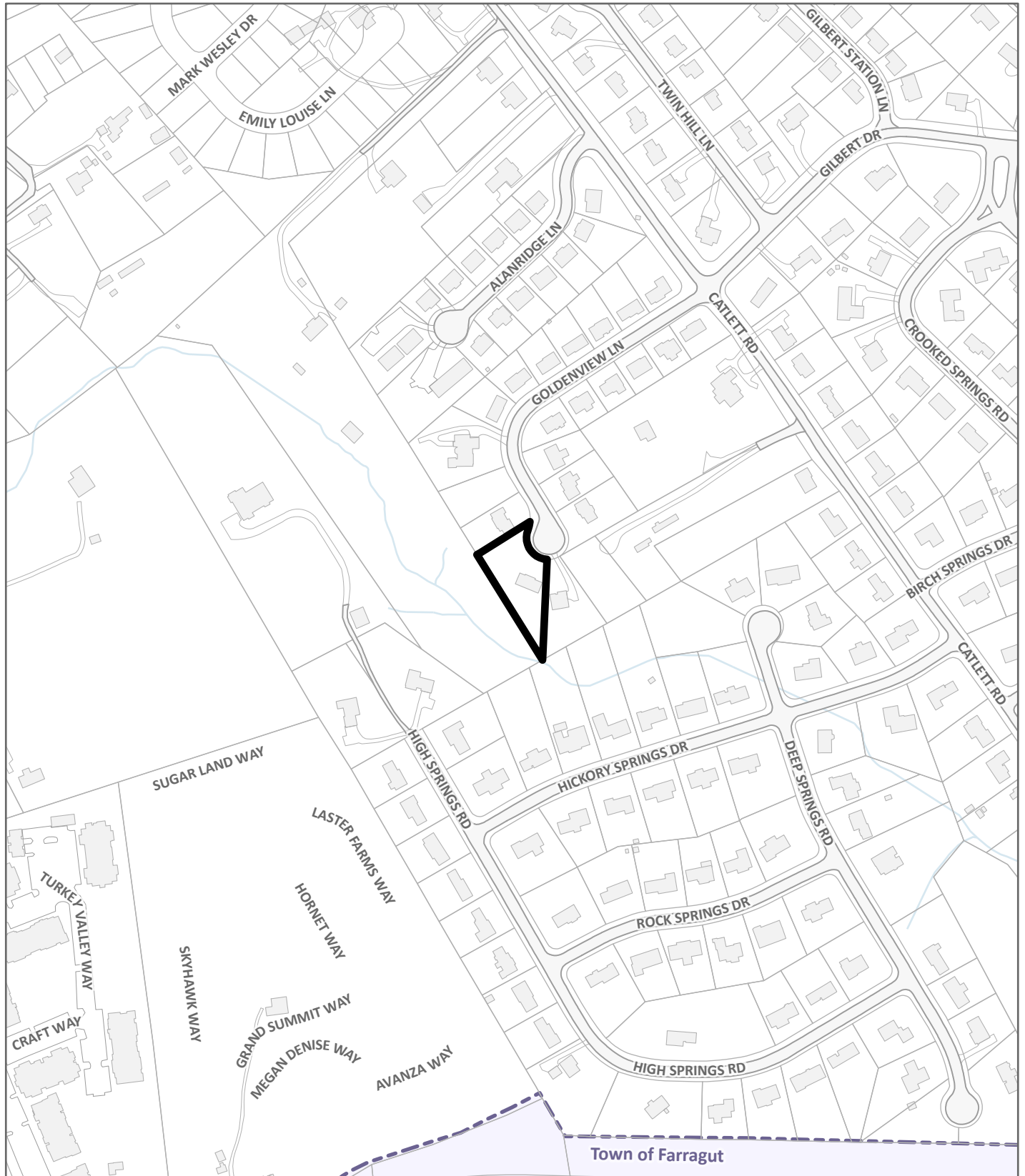


Exhibit A. Contextual Images

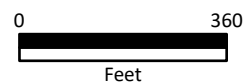


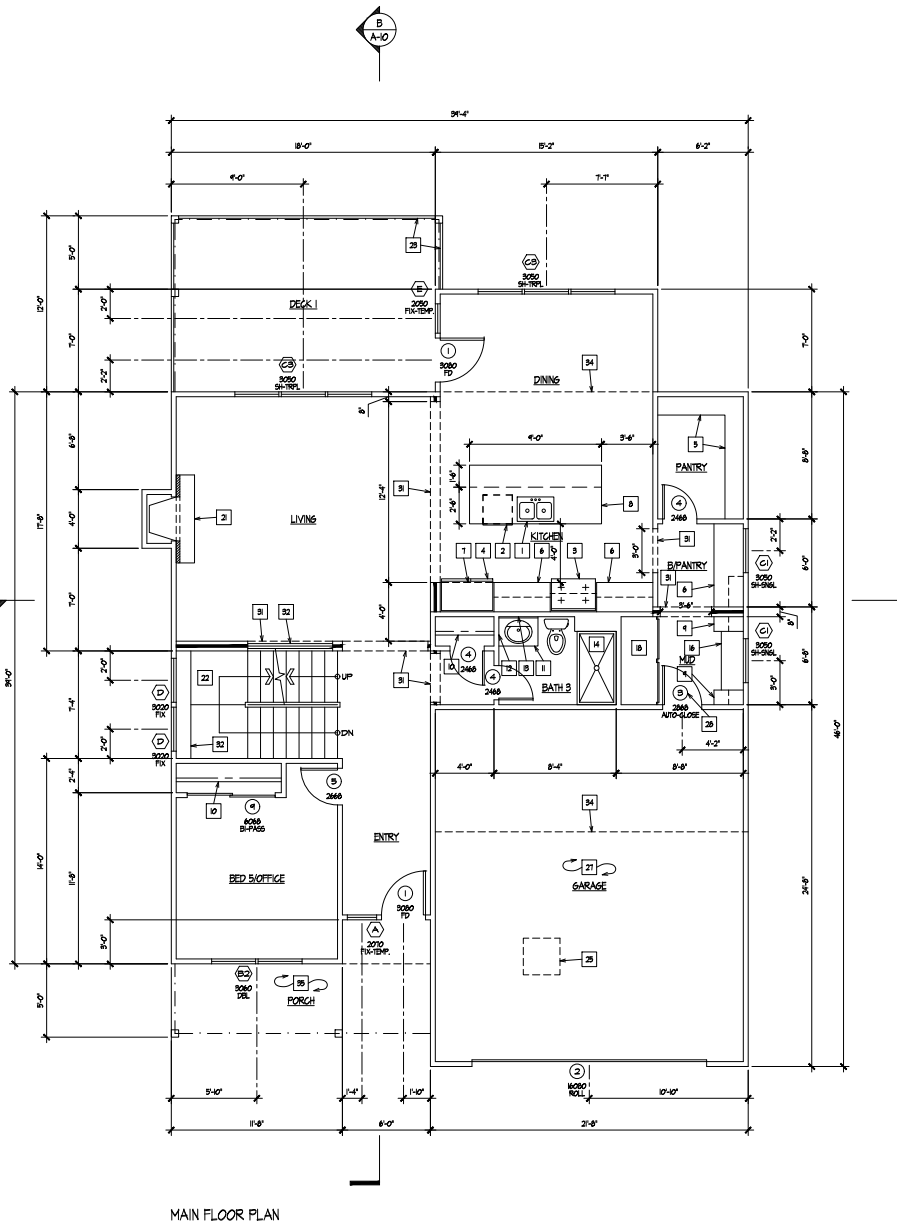
LOCATION MAP

5-C-26-DP



Case boundary





MAIN FLOOR PLAN

SQUARE FOOTAGE:

LOWER FLOOR PLAN:	
LIVING:	1020 SQFT.
MECHANICAL RM:	240 SQFT.
COVD DECK 2:	24 SQFT.
MAIN FLOOR PLAN:	
LIVING:	126 SQFT.
PORCH:	108 SQFT.
GARAGE:	522 SQFT.
COVD DECK 1:	24 SQFT.
UPPER FLOOR PLAN:	
LIVING:	1281 SQFT.
TOTAL LIVING:	3589 SQFT.
TOTAL AREA:	4844 SQFT.

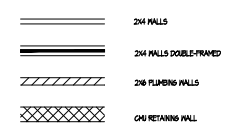
FLOOR PLAN NOTES

- 1. CONTRACTOR AND/OR SUBCONTRACTOR SHALL CAREFULLY STUDY AND CORPARE ALL DRAWINGS, DATA, DIMENSIONS, SPECS, AND CONDITIONS BEFORE PROCEEDING WITH ANY WORK. A REPORT AT ONCE TO THE ARCHITECT ANY ERROR, INCONSISTENCY OR OMISSION MUST BE DISCOVERED.
- 2. CONTRACTOR SHALL VERIFY OWNER ALL FINISHES & MATERIALS PRIOR TO PURCHASE AND/OR INSTALLATION.
- 3. CONTRACTOR SHALL NOT MAKE ANY CHANGES OR DEVIATE FROM THESE PLANS WITHOUT WRITTEN AUTHORIZATION FROM THE OWNER AND/OR ARCHITECT. IF OWNER AUTHORIZES ANY CHANGES, THE ARCHITECT SHALL BE NOTIFIED IMMEDIATELY.
- 4. ALL DIMENSIONS ARE TAKEN TO FACE OF STUD BLDG. IN CASE OF CONFLICT, NOTED DIMENSIONS TAKE PRECEDENCE OVER SCALE DRAWINGS. EXC. NOT SCALE DRAWINGS.

FLOOR PLAN SCHEDULE

- 1. DOUBLE SINK IN GARAGE DISPOSAL. PROVIDE REQUIRED ELECTRIC AND PAGES.
- 2. BUILT-IN DISHWASHER. VERIFY DIMENSIONS WITH MFG.
- 3. SLIDE-RAMPOVER IN EYE LEVEL. MONORAIL IN FAN AND LIGHT. VENT TO OUTSIDE AIR. SEE MECHANICAL PLAN FOR ADDITIONAL INFO.
- 4. 4" CLEAR REFRIGERATOR/FREEZER SPACE. VERIFY DIMENSIONS WITH MFG. STRAIGHT-COOLD WATER FOR ICE MAKER. VERIFY IN MFG. PANTRY IN FIXED SHELF (SINK) HUB.
- 5. CABINETS 8" OBT. IN CABINETS ABOVE. VERIFY IN OWNER.
- 6. ISLAND CABINETS 8" OBT. IN ISLAND SURFACE TOP. VERIFY IN OWNER.
- 7. ISLAND CABINET 8" OBT. IN ISLAND SURFACE TOP AND SHELF ABOVE. SHELF IN POLY AND METAL BRAGETS.
- 8. BUILT-IN VANITY IN BATH.
- 9. RECEIVED MEDICAL CABINET IN TOP TO ALIGN WITH MIRROR.
- 10. MIRROR TIED TO WALL ABOVE SPEAKER IN TOP 8" OBT. ATFT.
- 11. (I) PIECE DROP-IN TUB/SHOWER IN TOP GLASS ENCLOSURE.
- 12. FIBERGLASS SHOWER PAN IN TILE WALLS TO 1/2" ATFT. AND THERMOSTAT GLASS ENCLOSURE.
- 13. BELTON BENCH.
- 14. LAMINATE TUB.
- 15. FACE FRAME LINEN/STORAGE CABINET IN SHELVES 5" HIGH. DRYER SPACE. SEE MECHANICAL PLAN FOR ADDITIONAL INFO.
- 16. PAPER SPACE. SEE MECHANICAL PLAN FOR ADDITIONAL INFO.
- 17. DIRECT VENT SEALED CONVECTOR AND DRYER METAL FIREPLACE "TRAVIS INDUSTRIES" CG EXH-208 OR APPROVED EQUAL. MUST HAVE 1/2" MIN. NON-COMBUSTIBLE MATERIAL. MINIMUM OPENING OF FIRE-BOX. PROVIDE GLASS DOORS. VENT TO OUTSIDE AIR AND PROVIDE AN APPROVED SPARK ARRESTOR AT GARNEY CAMP. FIREPLACE OPENING SHALL NOT PERMIT PASSAGE OF A SPHERE WITH A DIAMETER GREATER THAN 1/2" FOR BLOCK PASSAGE OF A SPHERE WITH A DIAMETER OF LESS THAN 5/8". THE PRESS. REGULATION INSTRUCTIONS FOR FACTORY BUILT FIREPLACES SHALL BE AVAILABLE TO THE INSPECTOR AT THE FINISHING INSPECTION. INSTALLATION 2ND USE SHALL BE IN ACCORDANCE WITH NFPA LISTINGS. OWNER SHALL MEET THE FOLLOWING REQUIREMENTS FOR E.G.:
 - a. MAX RISER HEIGHT (RISE) = 1"3"
 - b. MIN. RISER RISE = 4" OBT. RISER DEPTH AT MAX. LUNG = 10" MIN. AND 8" MIN. AT MINORITY EDGE FOR RISER LESS THAN 1" THE RISER SHALL BE 3/4" MIN. AND 1/2" MAX.
 - c. MIN. WIDTH = 9" OBT.
 - d. MIN. HEAD ROOM = 8'0"
- 18. PROVIDE CONTIGUOUS HANDRAIL FOR STAIRS IN 4 OR MORE RISERS.
- 19. HANDRAILS SHALL BE 3/4" MIN. TO 2" MAX. ABOVE RISERS.
- 20. INTERMEDIATE HANDRAILS SHALL BE 3/4" OBT. MAX. ON OPEN SIDE.
- 21. HANDRAIL BRG. CIRCULAR = 1 1/2" MIN. DIA. 2" MAX. DIA. NON-CIRCULAR = 4" MIN. & 2" MAX. PROTRUSION ON 1 1/2" MAX. CROSS-SECTIONAL DIMENSION. RADIUS EDGES = 0.02" MIN.
- 22. HANDRAILS SHALL RETURN TO LEVEL OR POSTS.
- 23. HANDRAILS AND HANDRAILS SHALL BE INSTALLED TO RESIST A SINGLE CONCENTRIC LOAD OF 300 LBS. FOR 30 SECS.
- 24. ENCLOSED SMALL SPACE (ACROSS INTERIOR STAIRWAYS) SHALL HAVE 0.02" MIN. WITHIN BOUND AND ONE-HOUR FIRE-RISISTIVE CONSTRUCTION. GARAGE/RAIL 1/2" ATFT. IN BALUSTRADE = 4" OBT. MAX.
- 25. 2" X 8" OBT. ATTIC ACCESS.
- 26. 3/4" X 8" OBT. ATTIC ACCESS. IN GARAGE. 1-8" SELF-CLOSING DOOR. FALL ON OR HIGH FLYWOOD PLATFORM. SEE MECHANICAL PLAN FOR ADDITIONAL INFORMATION.
- 27. PROVIDE 5/8" TYP. 1/2" OBT. ON WALLS AND CEILING OF GARAGE. AND ALL STRUCTURAL MEMBERS SUPPORTING FLOOR.
- 28. SELF-CLOSING, THRESHOLDING DOOR WITH A FIRE-PROTECTION RATING OF NOT LESS THAN 20 MINUTES OR ONE-HOUR FIRE-RISISTIVE CONSTRUCTION ON GARAGE SIDE AND A SELF-CLOSING, THRESHOLDING SOLID-WOOD DOOR, 1 3/4" MIN. THICKNESS. PAPER CENTER OR 3/4" FLOOR FRAMED PLATFORM. SEE MECHANICAL CONDITIONS AND STRAP FOR LATERAL SUPPORT IN "SIMPSON" CODE TOP AND BOTTOM. SEE MECHANICAL PLAN FOR ADD. INFO. AIR CONDITIONS. BUT ON CONCRETE PNL.
- 29. 5/8" OBT. OR ANGLED OPENING. SEE FRAMING PLAN FOR HEIGHT.
- 30. LIGN MALL.
- 31. LINE OF FLOOR BELOW.
- 32. LINE OF FLOOR ABOVE.
- 33. EXTERIOR CONCRETE STROOP.
- 34. POST FOR FOUNDATION PLAN.

WALL LEGEND



Revisions:
 20/25 2/20/24

Project and Location:
CHEEMA RESIDENCE
 LOT 12, GOLDEN VIEW LANE
 KNOXVILLE, TN 37962
 PARD.

Drawn by: SP
 Checked by:
 Date: 02/28/24
 Job No. TN26-004

Sheet Number:
A-2.2
 Of 2 Sheets

DMA
 DAVE MADDEN ARCHITECT
 Phone: 615-770-4444 • Email: madden@dmadma.com
 1125 Foraker • Harrison Hwy, Knoxville, TN 37924

1/4" = 1'-0"

North

TN26004-FL-FR-PLAN-02-004.DWG



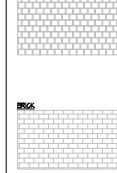
FRONT ELEVATION



LEFT ELEVATION

EXTERIOR FINISHES

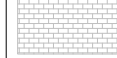
COMPOSITION SAMPLE



BOARD & BATTEN



BRICK



Revisions:
02/28/24 2/RTT/24

DMA
DAVE MADDEN ARCHITECT
Phone 865-770-0446 • Email: madden@dmaarch.com
12125 Foraker - Harrison Hwy, Knoxville, TN 37924

THE:
ELEVATIONS

Project and Location
CHEEMA RESIDENCE
LOT 12, GOLDEN VIEW LANE
KNOXVILLE, TN 37932
PARAD.



Drawn by: SP
Checked by:
Date: 02/28/24
Job No. TN26-004

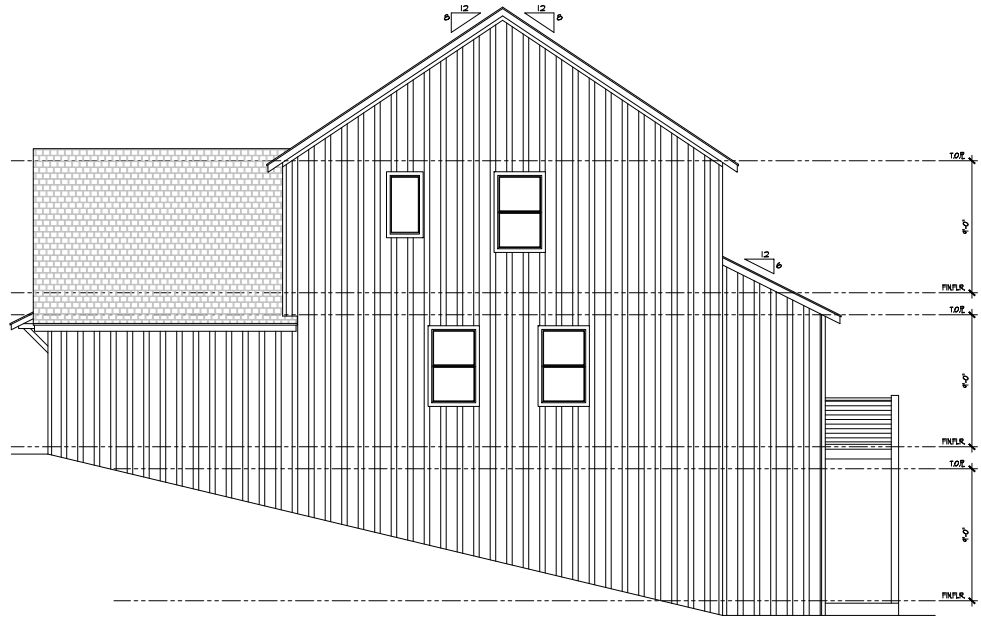
1/4" = 1'-0"
Sheet Number

A-5.1
Of Sheets

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REAR ELEVATION



RIGHT ELEVATION

EXTERIOR FINISHES

COMPOSITION PANELS	STANDING SEAM METAL ROOFING
BOMEX BATTIS	

Revisions:
02/28/26

DMA
DAVE MADDEN ARCHITECT
Phone 865-790-4446 • Email: madden@dmaarch.com
2125 Foraker - Harrison Hwy, Knoxville, TN 37924

Project and Location
CHEEMA RESIDENCE
LOT 12, GOLDEN VIEW LANE
KNOXVILLE, TN 37992
PARAD.

STATE OF TENNESSEE
DAVE MADDEN
REGISTERED ARCHITECT
NO. 24007

Drawn by: SP
Checked by:
Date: 02/28/26
Job No. TN26-004

1/4" = 1'-0"
Sheet Number
A-5.1
Of Sheets

TN26004-ELEV-000.dwg

Public Notice and Community Engagement

Planning strives to provide community members with information about upcoming cases in a variety of ways. In addition to posting public notice signs, our agency encourages applicants to provide information and offer opportunities for dialogue related to their upcoming case(s). The contact information you provide in your application may be used for that purpose. We require applicants to acknowledge their role in this process.

Sign Posting and Removal

The Administrative Rules and Procedures of the Knoxville-Knox County Planning Commission require a sign to be posted on the property for each application subject to consideration by the Planning Commission.

Planning staff will post the required sign. If a replacement sign(s) is needed, the applicant is responsible for picking up the new sign(s) from Planning and will be charged \$10 for each replacement.

Location and Visibility

The sign must be posted on the nearest adjacent/frontage street and in a location clearly visible to vehicles traveling in either direction. If the property has more than one street frontage, the sign should be placed along the street that carries more traffic. Planning staff may recommend a preferred location for the sign to be posted at the time of application.

Timing

The sign(s) must be posted not less than 12 days prior to the scheduled Planning Commission public hearing and must remain in place until the day after the meeting. In the case of a postponement, the sign can either remain in place or be removed and reposted not less than 12 days prior to the next Planning Commission meeting. The applicant is responsible for removing the sign after the application has been acted upon by the Planning Commission.

Acknowledgement

By signing below, you acknowledge that public notice signs must be posted and visible on the property consistent with the guidelines above and between the dates listed below.

05/02/2026

05/15/2026

Date to be Posted

Date to be Removed

Have you engaged the surrounding property owners to discuss your request?

Yes No

No, but I plan to prior to the Planning Commission meeting

AuthenticSign
Steven W. Abbott Jr.

Applicant Signature

Steven W. Abbott Jr.

Applicant Name

3-19-2026

Date