

REZONING REPORT

▶ **FILE #:** 5-C-26-RZ

AGENDA ITEM #: 29

AGENDA DATE: 5/14/2026

▶ **APPLICANT:** HOMESTEAD LAND HOLDINGS LLC

OWNER(S): Rocky Hill Rocky Hil, GP Rocky Hill Rocky Hil, GP

TAX ID NUMBER: 133 L B 026

[View map on KGIS](#)

JURISDICTION: County Commission District 4

STREET ADDRESS: 0 S NORTSHORE DR

▶ **LOCATION:** Southeast side of S Northshore Dr, southwest of Wrights Ferry Rd

▶ **APPX. SIZE OF TRACT:** 1.38 acres

GROWTH POLICY PLAN: Urban Growth Area (Outside City Limits)

ACCESSIBILITY: Access is via S Northshore Drive, a major arterial with a pavement width which varies between 19.5 ft and 36 ft within a right-of-way which varies between 56 ft and 60 ft.

UTILITIES: Water Source: Knoxville Utilities Board

Sewer Source: Knoxville Utilities Board

FIRE DISTRICT: Rural Metro Fire

WATERSHED: Fourth Creek, Tennessee River

▶ **CURRENT ZONING:** CN (Neighborhood Commercial)

▶ **REQUESTED ZONING:** OB (Office, Medical, and Related Services)

▶ **EXISTING LAND USE:** Single Family Residential

▶
EXTENSION OF ZONING: No, this would not be an extension.

HISTORY OF ZONING: In 2022 the property was rezoned from RA (Low Density Residential) to CN (Neighborhood Commercial) (7-B-22-RZ).

SURROUNDING LAND USE AND ZONING:

North: Office - C-G-2 (General Commercial) in the City

South: Single family residential - RA (Low Density Residential) in the County

East: Rural residential, commercial - RA (Low Density Residential) in the County and C-G-2 (General Commercial) in the City

West: Single family residential - RA (Low Density Residential) in the County

NEIGHBORHOOD CONTEXT: The subject property is situated between a swath of single-family subdivisions to the west and the commercial and office node located at the intersection of S Northshore Drive and Morrell Road to the east.

STAFF RECOMMENDATION:

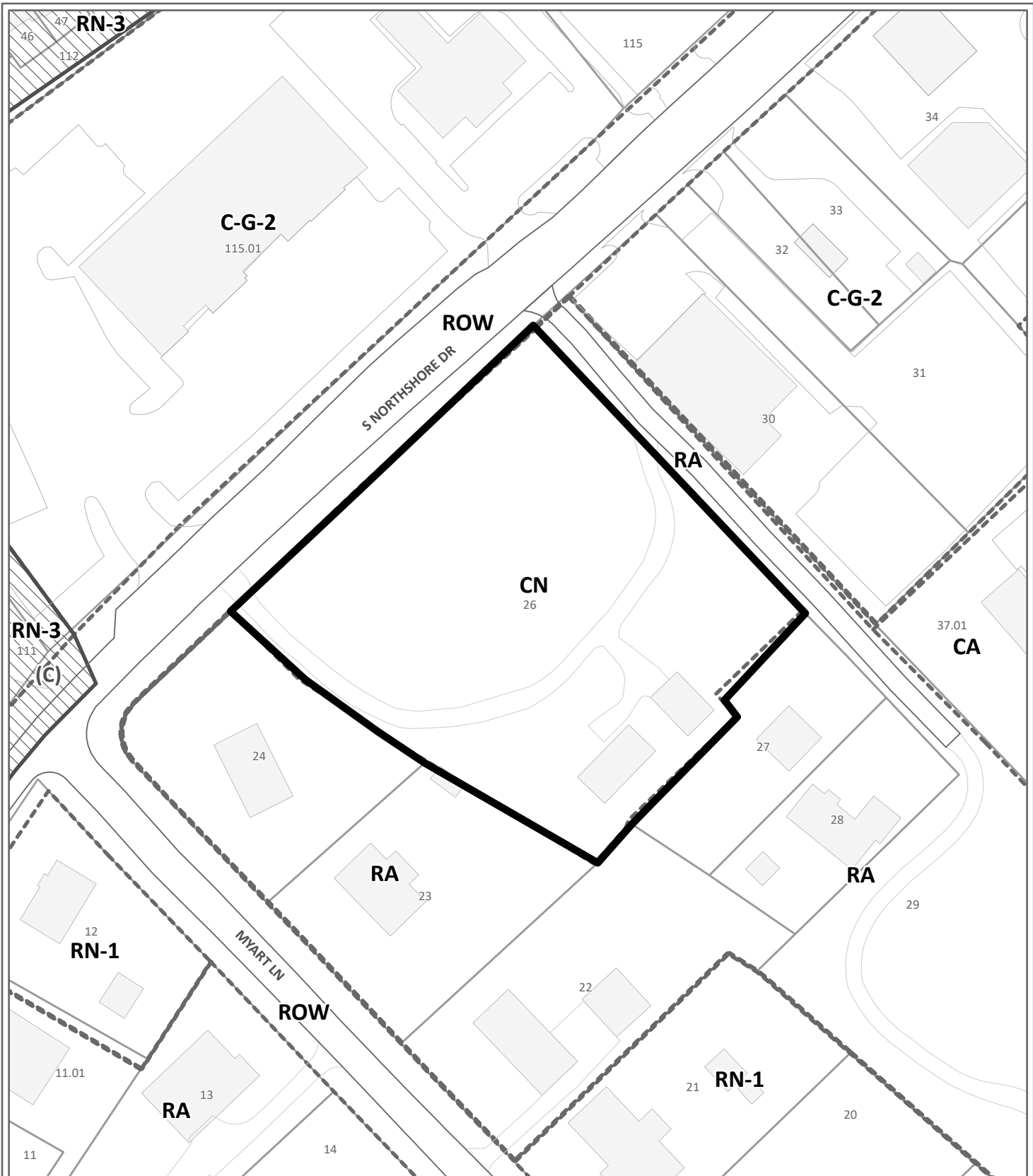
▶ **Withdraw the application per the applicant's request.**

ESTIMATED TRAFFIC IMPACT: Not required.

ESTIMATED STUDENT YIELD: Not applicable.

Schools affected by this proposal: Rocky Hill Elementary, Bearden Middle, and West High.

If approved, this item will be forwarded to Knox County Commission for action on 6/15/2026. If denied, Knoxville-Knox County Planning Commission's action is final, unless the action to deny is appealed to Knox County Commission. The date of the appeal hearing will depend on when the appeal application is filed. Appellants have 30 days to appeal a Planning Commission decision in the County.



REZONING

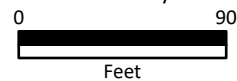
5-C-26-RZ

Petitioner: Homestead Land Holdings LLC



From: CN (Neighborhood Commercial)
To: OB (Office, Medical, and Related Services)

Map No: 133
Jurisdiction: County



Original Print Date: 4/7/2026
 Knoxville - Knox County Planning Commission * City / County Building * Knoxville, TN 37902

Exhibit A. Contextual Images



AERIAL MAP



Case boundary

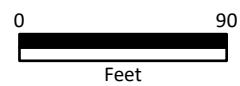
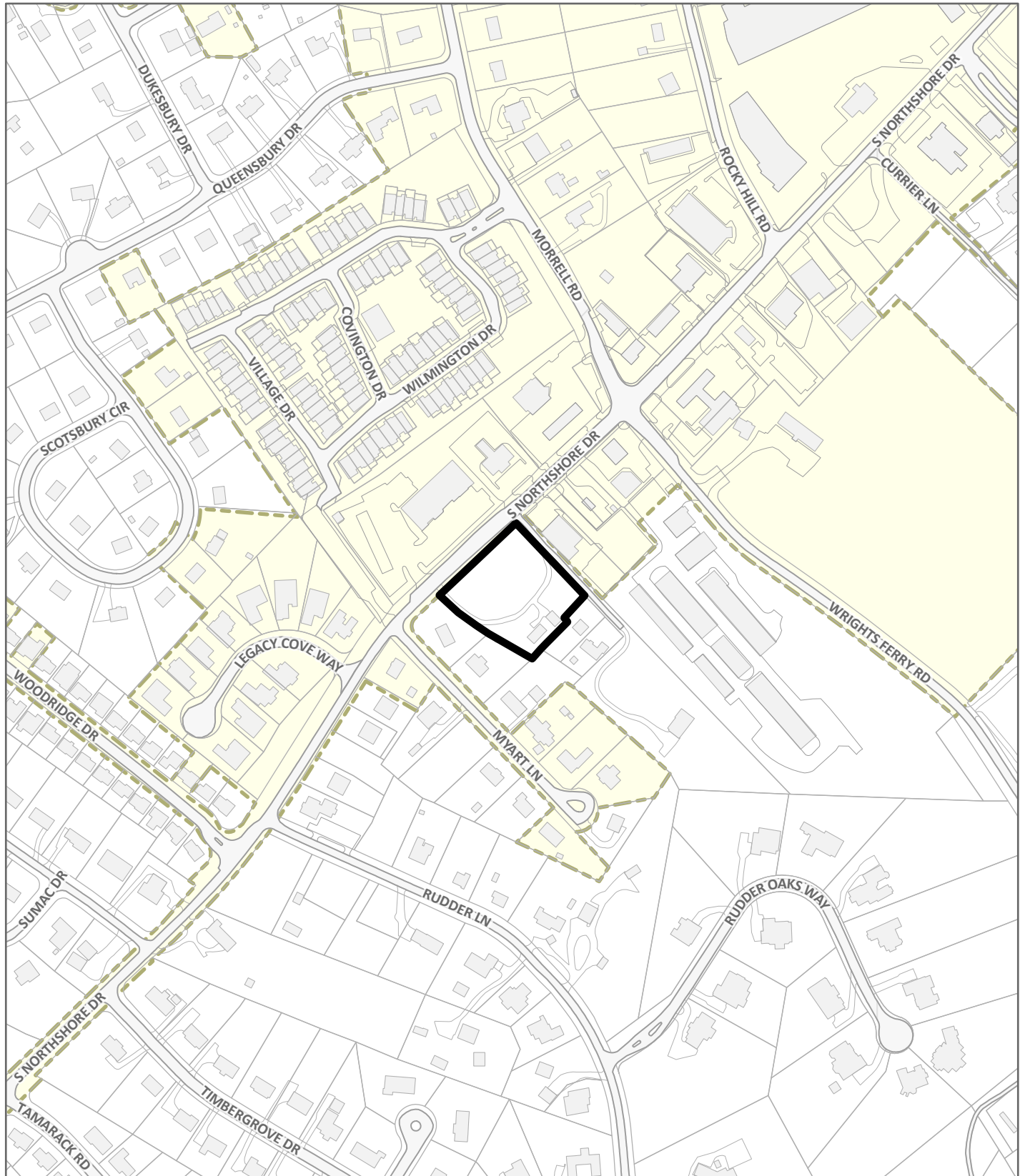


Exhibit A. Contextual Images

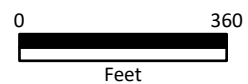


LOCATION MAP

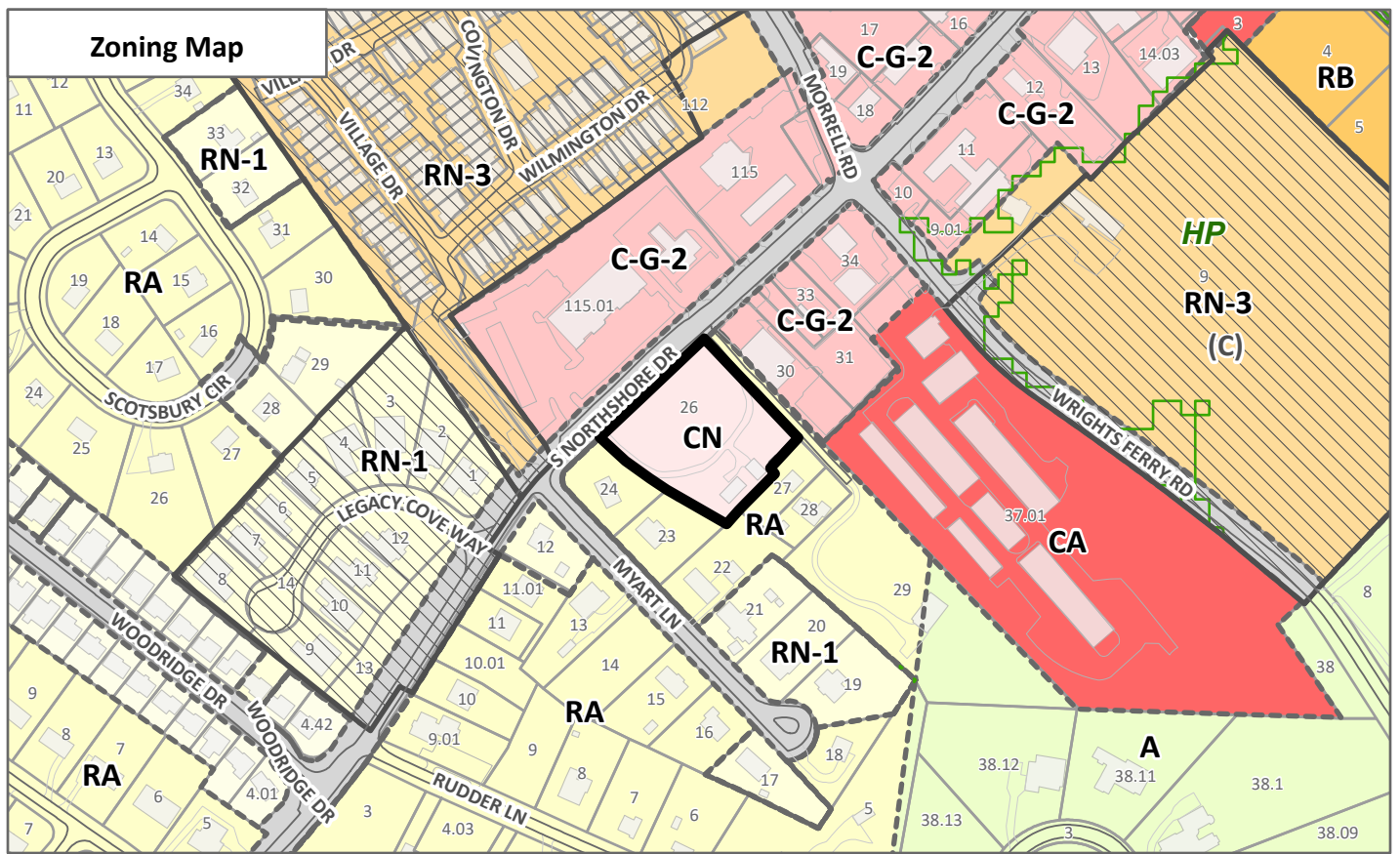
5-C-26-RZ



Case boundary



Zoning Map



Comprehensive Plan Map

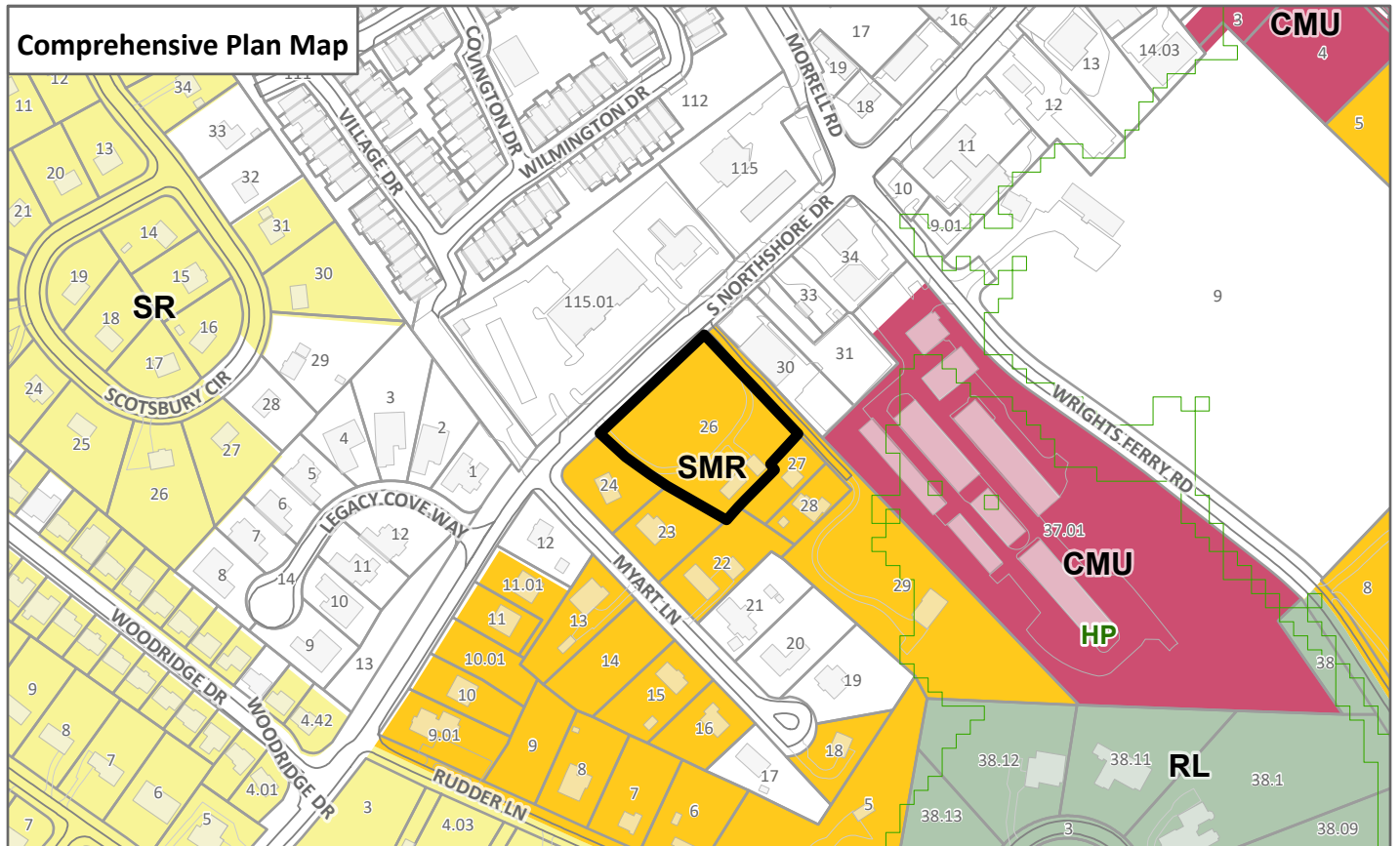


EXHIBIT A, CONTEXTUAL MAPS

5-C-26-RZ



Case boundary



Existing Land Use Map

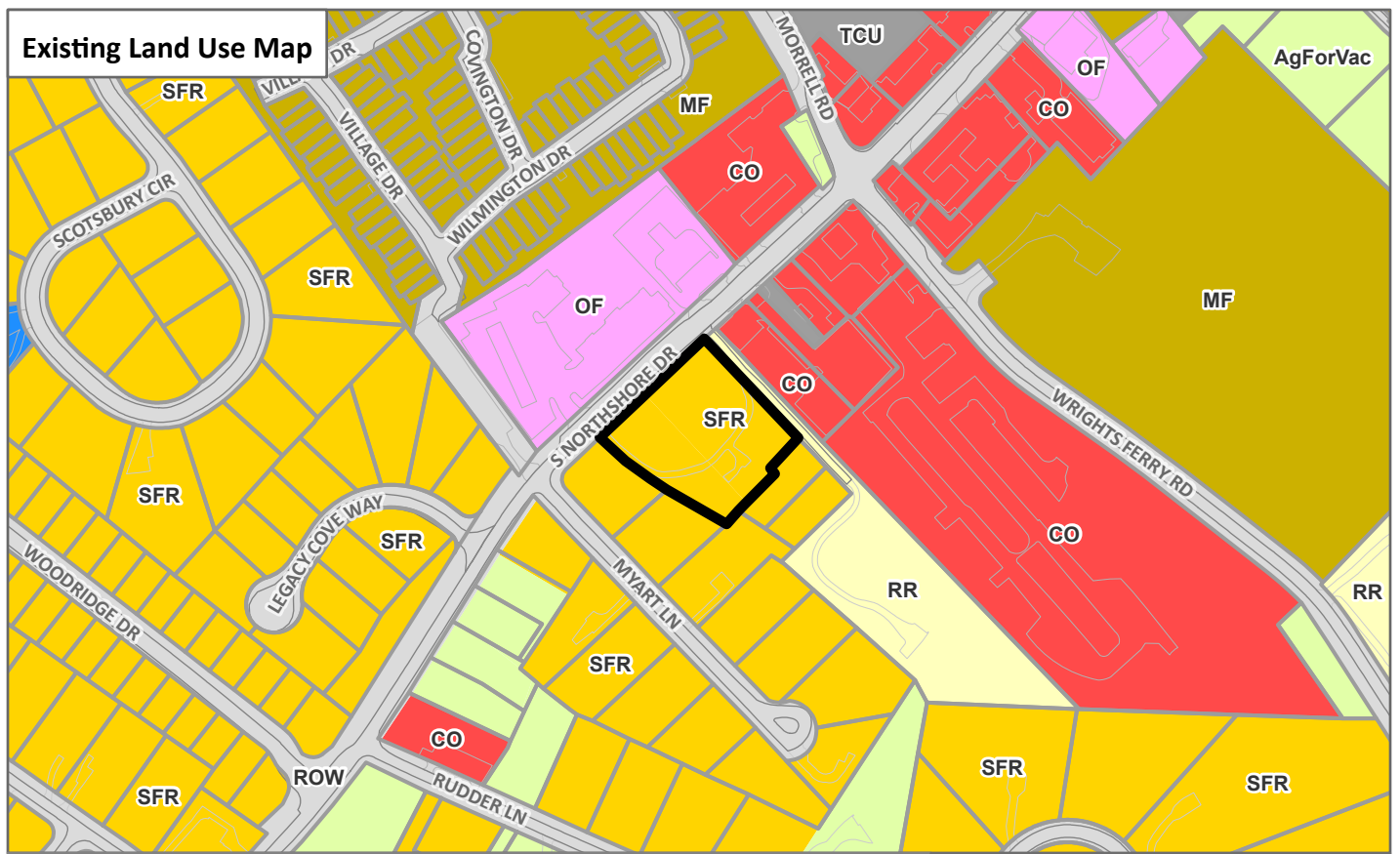
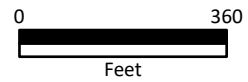


EXHIBIT A, CONTEXTUAL MAPS

5-C-26-RZ



Case boundary



Public Notice and Community Engagement

Planning strives to provide community members with information about upcoming cases in a variety of ways. In addition to posting public notice signs, our agency encourages applicants to provide information and offer opportunities for dialogue related to their upcoming case(s). The contact information you provide in your application may be used for that purpose. We require applicants to acknowledge their role in this process.

Sign Posting and Removal

The Administrative Rules and Procedures of the Knoxville-Knox County Planning Commission require a sign to be posted on the property for each application subject to consideration by the Planning Commission.

Planning staff will post the required sign. If a replacement sign(s) is needed, the applicant is responsible for picking up the new sign(s) from Planning and will be charged \$10 for each replacement.

Location and Visibility

The sign must be posted on the nearest adjacent/frontage street and in a location clearly visible to vehicles traveling in either direction. If the property has more than one street frontage, the sign should be placed along the street that carries more traffic. Planning staff may recommend a preferred location for the sign to be posted at the time of application.

Timing

The sign(s) must be posted not less than 12 days prior to the scheduled Planning Commission public hearing and must remain in place until the day after the meeting. In the case of a postponement, the sign can either remain in place or be removed and reposted not less than 12 days prior to the next Planning Commission meeting. The applicant is responsible for removing the sign after the application has been acted upon by the Planning Commission.

Acknowledgement

By signing below, you acknowledge that public notice signs must be posted and visible on the property consistent with the guidelines above and between the dates listed below.

03/28/2026

04/10/2026

Date to be Posted

Date to be Removed

Have you engaged the surrounding property owners to discuss your request?

Yes No

No, but I plan to prior to the Planning Commission meeting


Applicant Signature

Thomas Krajewski
Applicant Name

02/20/26
Date