



SPECIAL USE REPORT

▶ **FILE #:** 5-C-26-SU

AGENDA ITEM #: 12

AGENDA DATE: 5/14/2026

▶ **APPLICANT:** **STUART ANDERSON, AIA**

OWNER(S): Yasalama Properties, LLC

TAX ID NUMBER: 154 09820

[View map on KGIS](#)

JURISDICTION: City Council District 2

STREET ADDRESS: 1925 TOWN CENTER BLVD

▶ **LOCATION:** **East of Thunderhead Rd, north of Broadwalk Blvd, northwest of Town Center Blvd**

▶ **APPX. SIZE OF TRACT:** **1.12 acres**

SECTOR PLAN: Southwest County

GROWTH POLICY PLAN: N/A (Within the City limits)

ACCESSIBILITY: Access is via unnamed cross access easements (driveways) with 24 ft of pavement width within 50 ft of easement width that connect to Thunderhead Road, Boardwalk Boulevard, and the Target driveway at the terminus of Town Center Boulevard.

UTILITIES: Water Source: First Knox Utility District

Sewer Source: First Knox Utility District

FIRE DISTRICT: Knoxville Fire Department

WATERSHED: Tennessee River

▶ **ZONING:** **C-R-2 (Regional Commercial), (C) (Previously Approved Plan District)**

▶ **EXISTING LAND USE:** **Agriculture/Forestry/Vacant Land**

▶ **PROPOSED USE:** **Medical office building under the former PC-1(k) district standards**

HISTORY OF ZONING: In 2000 the property was assigned R-1 (Low Density Residential) after being annexed into the City (6-AA-00-RZ). In 2001 the property was rezoned from R-1 to TC-1 (Town Center) (4-Q-01-RZ). In 2010 the property was rezoned from TC-1 to PC-1(k) (Retail and Office Park, with conditions) (10-G-10-RZ).

SURROUNDING LAND USE AND ZONING: North: Agriculture/forestry/vacant land - C-R-2 (Regional Commercial), (C) (Previously Approved Plan District)

South: Office - C-R-2 (Regional Commercial), (C) (Previously Approved Plan District)

East: Commercial - C-R-2 (Regional Commercial), (C) (Previously Approved Plan District)

West: Agriculture/forestry/vacant land - C-R-2 (Regional Commercial), (C) (Previously Approved Plan District)

NEIGHBORHOOD CONTEXT: The subject property is in an existing commercial and office node within Northshore Town Center that is 0.5 miles to the northwest of the S

Northshore Drive and Pellissippi Parkway interchange. Northshore Elementary School lies 350 ft to the west, and there are a mix of residential uses to the north and southwest.

STAFF RECOMMENDATION:

► **Approve the development plan for a medical office building of approximately 22,087 square feet and a reduction of the parking lot perimeter landscape yard from 10 ft to 7 ft along the northwest lot line, subject to 8 conditions.**

1. Installing the on-street parking, sidewalk, landscaping, and lighting within the roadway (access easement) as shown on the development plan, with the final design finalized during permitting.
2. Maintaining all existing street trees located along the Target driveway, near the northeast property line, and protected from damage during construction or replaced per the requirements of the City of Knoxville Urban Forester.
3. Providing the pedestrian sidewalk and driveway connection between the subject lot and the adjacent property to the southeast (parcel 154 09818), and meeting all parking lot design and landscaping standards where the parking lot on the adjacent property is modified.
4. Obtaining approval of the shared parking arrangement with the adjacent property to the south (parcel 154 09818) from the City of Knoxville Plans Review and Inspections office during permitting.
5. Signage shall be in conformance with the Northshore Town Center Unified Development Master Sign Plan (3-C-11-UR) and Article 8 of the City of Knoxville Zoning Ordinance (Signs, billboards, and other advertising structures), and is subject to final approval by Planning Commission staff and the Knoxville Plans Review and Inspections Division.
6. Meeting all applicable requirements of the City of Knoxville Zoning Code.
7. Meeting all applicable requirements of the City of Knoxville Department of Engineering.
8. Meeting all applicable requirements of the utility provider.

With the conditions noted above, this request meets the former PC-1 (Planned Commercial) zone requirements, the previously approved development plan, and the other criteria for approval of a special use for modifications to previously approved planned districts per Article 1.4.G.

COMMENTS:

This proposal is for a 22,000 sqft, 2-story medical office building associated with the adjacent medical practice to the southeast and will have a similar exterior design. The two medical offices will share parking, but the uses will be on separate lots. A shared parking agreement may be required during permitting, with review and approval by the City of Knoxville's Plans Review and Inspections office. There will be internal pedestrian sidewalk and vehicle driveway connections between the sites.

The applicant is requesting a reduction of the parking lot perimeter landscape yard from 10 ft to 7 ft along the northwest lot line. When a property is designated as a formerly approved planned district, the Planning Commission has the authority to approve modifications to the zoning standards. Knoxville's Urban Forestry division did not have concerns with the landscape yard being adequate for the required landscaping.

This development is responsible for installing the streetscape improvements required by the Northshore Town Center design guidelines and the concept plan approval that created the private roads around this property. The applicant is proposing up to six parallel parking spaces in the private road on the northwest side of the lot, along with a sidewalk, lighting, and landscaping within the private right-of-way (easement) on the northwest and southwest sides of the lot.

STANDARDS FOR EVALUATING A SPECIAL USE (ARTICLE 16.2.F.2.)

- 1) THE USE IS CONSISTENT WITH ADOPTED PLANS AND POLICIES, INCLUDING THE GENERAL PLAN AND THE ONE-YEAR PLAN.
 - a. The One Year Plan and Sector Plan designations for this site are MU-CC (Community Mixed Use Center), which recommends a mix of residential, office, and commercial uses.
 - b. The proposed medical office building is consistent with the MU-CC land use designation because it is part of a larger mixed-use development.
- 2) THE USE IS IN HARMONY WITH THE GENERAL PURPOSE AND INTENT OF THIS ZONING CODE.
 - a. The medical office building is consistent with the former PC-1 zoning standards and the adopted Northshore Town Center design guidelines.

3) THE USE IS COMPATIBLE WITH THE CHARACTER OF THE NEIGHBORHOOD WHERE IT IS PROPOSED, AND WITH THE SIZE AND LOCATION OF BUILDINGS IN THE VICINITY.

a. The 2-story structure is consistent in design and character with the associated medical office structure to the southeast, and the other development in the former PC-1 zoned portion of the Northshore Town Center development.

4) THE USE WILL NOT SIGNIFICANTLY INJURE THE VALUE OF ADJACENT PROPERTY OR BY NOISE, LIGHTS, FUMES, ODORS, VIBRATION, TRAFFIC, CONGESTION, OR OTHER IMPACTS DETRACT FROM THE IMMEDIATE ENVIRONMENT.

a. The proposed medical office has regular daytime business hours and does not have emergency services. The use will not significantly injure the value of the adjacent property or detract from the immediate environment.

5) THE USE IS NOT OF A NATURE OR SO LOCATED AS TO DRAW SUBSTANTIAL ADDITIONAL TRAFFIC THROUGH RESIDENTIAL STREETS.

a. The site is located in the commercial and mixed-use portion of the development, and will not draw additional traffic through residential streets.

6) THE NATURE OF DEVELOPMENT IN THE SURROUNDING AREA IS NOT SUCH AS TO POSE A POTENTIAL HAZARD TO THE PROPOSED USE OR TO CREATE AN UNDESIRABLE ENVIRONMENT FOR THE PROPOSED USE.

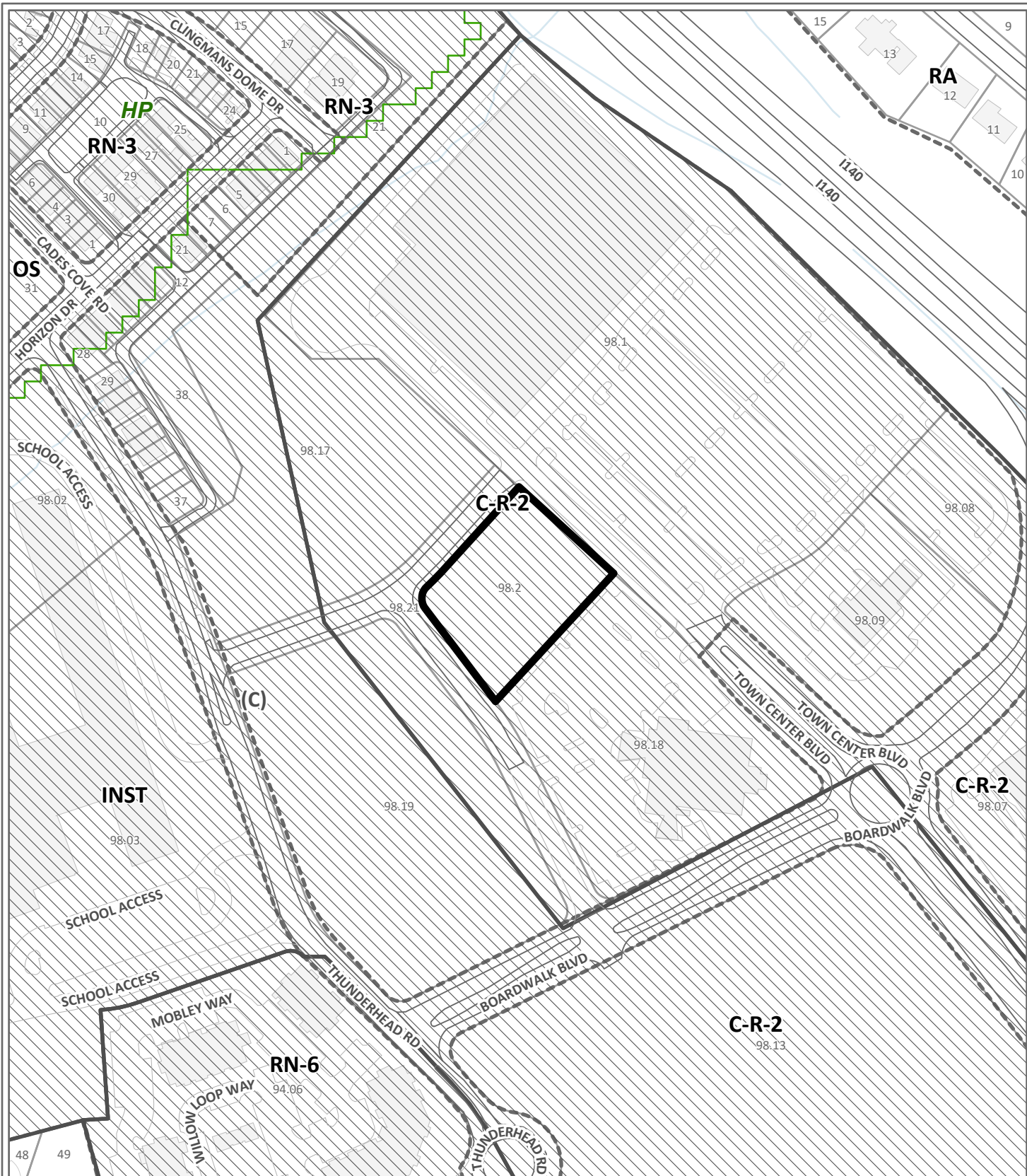
A. There are no known uses immediately surrounding the subject site that pose a potential hazard or undesirable environment for the proposed use.

ESTIMATED TRAFFIC IMPACT: 822 (average daily vehicle trips)

Average Daily Vehicle Trips are computed using national average trip rates reported in the latest edition of "Trip Generation," published by the Institute of Transportation Engineers. Average Daily Vehicle Trips represent the total number of trips that a particular land use can be expected to generate during a 24-hour day (Monday through Friday), with a "trip" counted each time a vehicle enters or exits a proposed development.

ESTIMATED STUDENT YIELD: Not applicable.

The Planning Commission's approval or denial of this request is final, unless the action is appealed to the Knoxville City Council. The date of the Knoxville City Council hearing will depend on when the appeal application is filed.



SPECIAL USE

5-C-26-SU

Petitioner: Stuart Anderson, AIA



Medical office building under the former PC-1(k) district standards in C-R-2 (Regional Commercial), (C) (Previously Approved Plan District)

Original Print Date: 4/7/2026

Knoxville - Knox County Planning Commission * City / County Building * Knoxville, TN 37902

Map No: 154

Jurisdiction: City

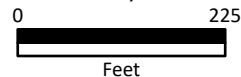


Exhibit A. Contextual Images



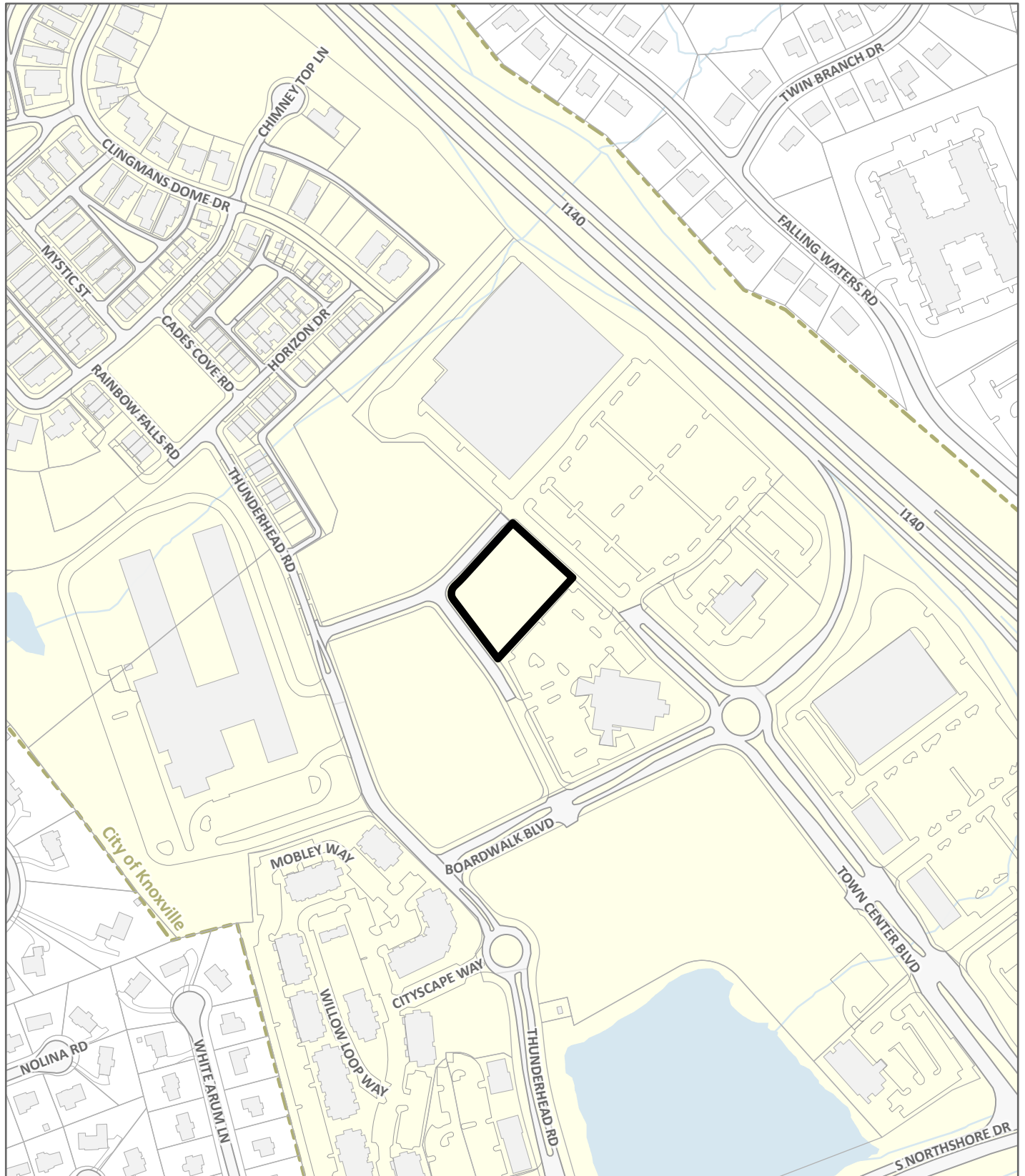
AERIAL MAP



Case boundary



Exhibit A. Contextual Images



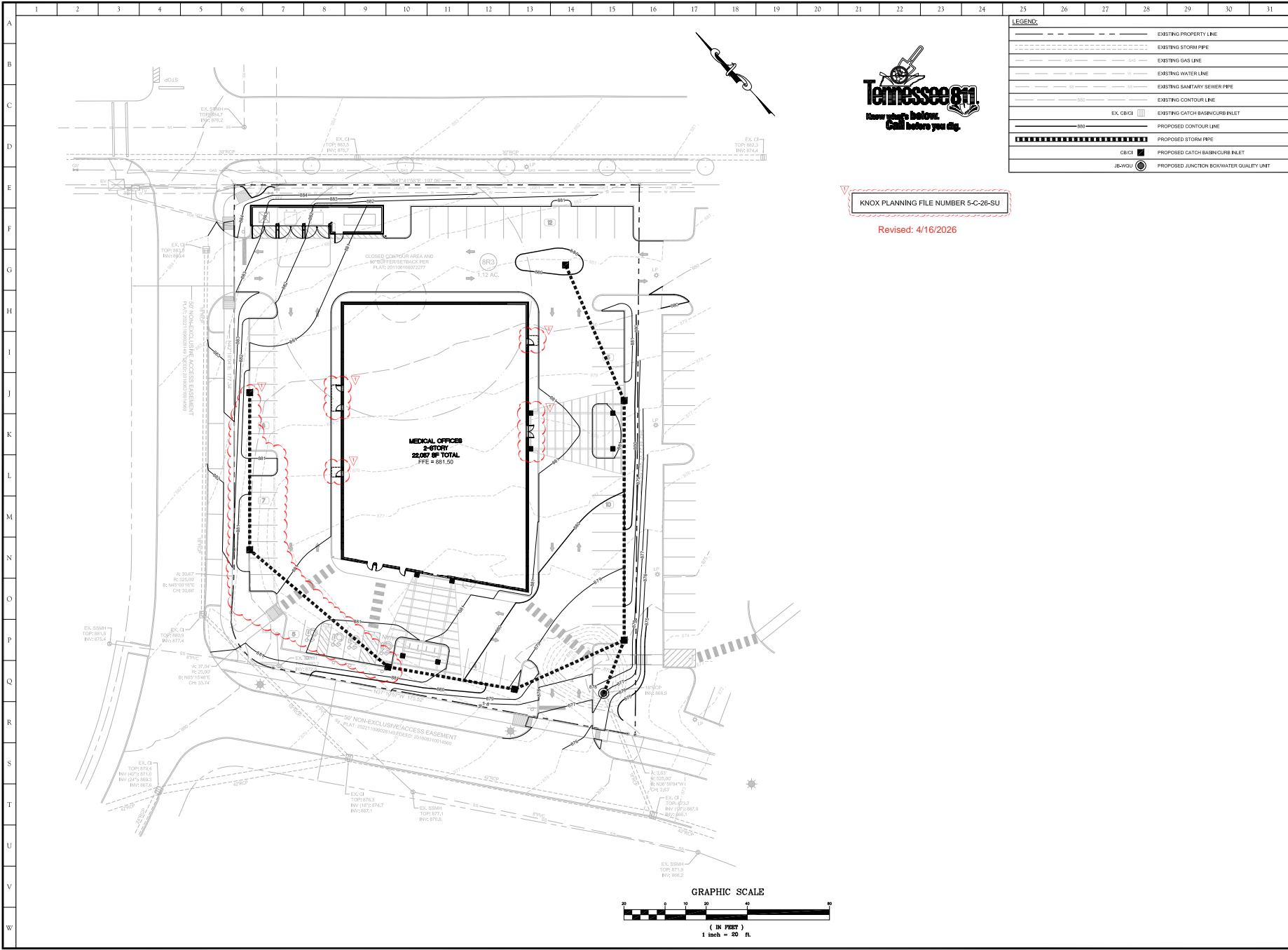
LOCATION MAP

5-C-26-SU



Case boundary





KNOX PLANNING FILE NUMBER 5-C-26-SU

Revised: 4/16/2026

LEGEND:	
---	EXISTING PROPERTY LINE
---	EXISTING STORM PIPE
---	EXISTING GAS LINE
---	EXISTING WATER LINE
---	EXISTING SANITARY SEWER PIPE
---	EXISTING CONTOUR LINE
EX CB/C1	EXISTING CATCH BASIN/CURB INLET
---	PROPOSED CONTOUR LINE
---	PROPOSED STORM PIPE
CB/C1	PROPOSED CATCH BASIN/CURB INLET
JB-WQ1	PROPOSED JUNCTION BOX/WATER QUALITY UNIT

10215 Technology Drive, Suite 304
Knoxville, TN 37932
(865) 277-4160
www.site-incorporated.com

Use on Review - Site Grading and Drainage Plan

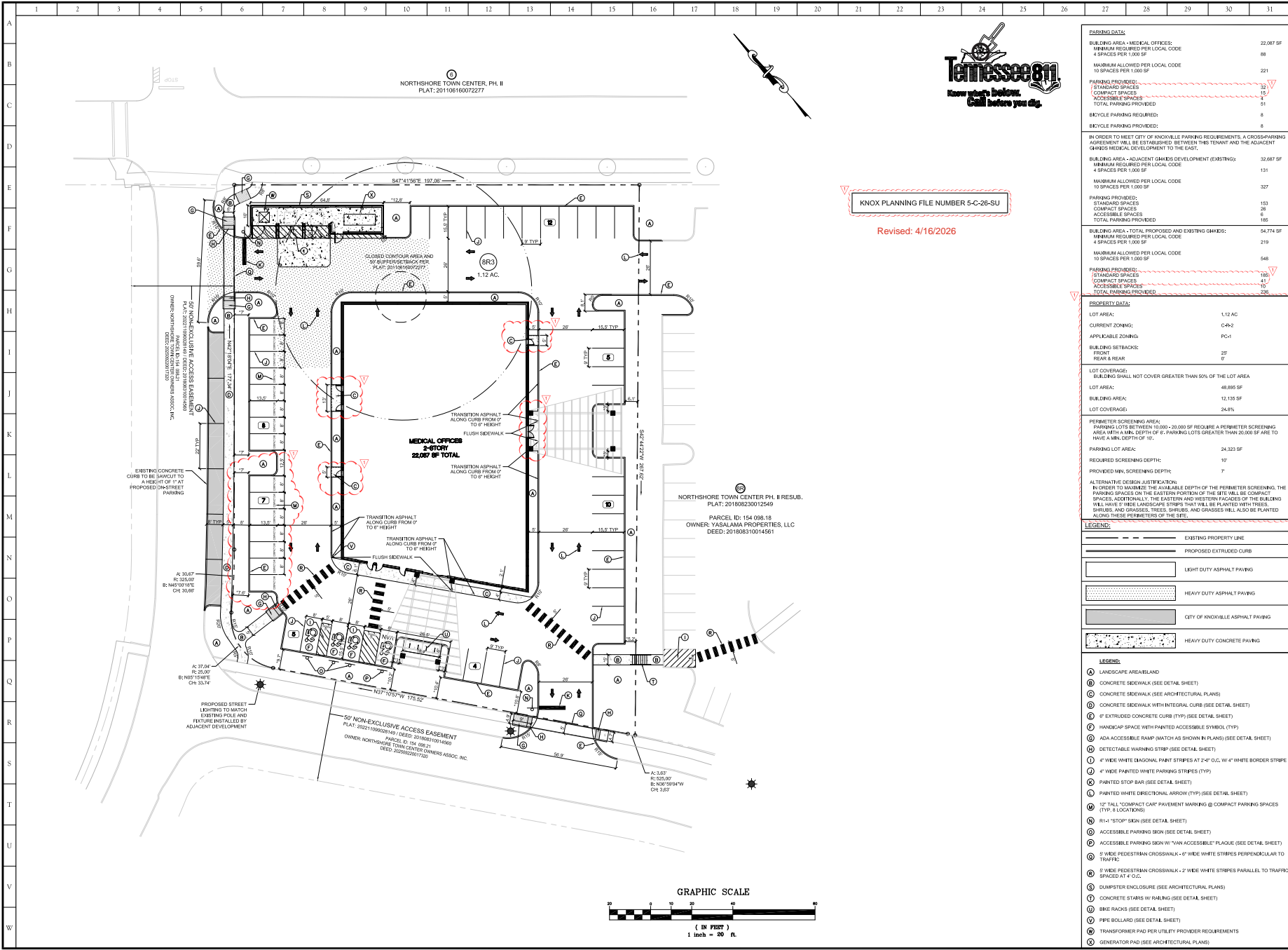
Knox Endoscopy at Northshore Town Center

1925 Town Center Boulevard
Knoxville, Tennessee 37922
Ward 51, CLT Map 154, City Block 51008, Parcel 198.2

REVISIONS		
NO.	DATE	COMMENTS
1	03/21/2026	Knox Planning Comments

ORIGINAL ISSUE: 03/21/2026
SITE PROJECT #: 1758-KE
FILE: Grading

C3.0



KNOX PLANNING FILE NUMBER 5-C-26-SU

Revised: 4/16/2026

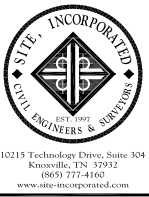
PARKING DATA:	
BUILDING AREA - MEDICAL OFFICES:	22,067 SF
MINIMUM REQUIRED PER LOCAL CODE	68
4 SPACES PER 1,000 SF	
MAXIMUM ALLOWED PER LOCAL CODE	231
10 SPACES PER 1,000 SF	
PARKING PROVIDED:	
STANDARD SPACES	32
COMPACT SPACES	152
ACCESSIBLE SPACES	47
TOTAL PARKING PROVIDED	231
BICYCLE PARKING REQUIRED:	8
BICYCLE PARKING PROVIDED:	8

IN ORDER TO MEET CITY OF KNOXVILLE PARKING REQUIREMENTS, A CROSS-PARKING AGREEMENT WILL BE ESTABLISHED BETWEEN THE TENANT AND THE ADJACENT GRANDES MEDICAL DEVELOPMENT TO THE EAST.	
BUILDING AREA - ADJACENT GRANDES DEVELOPMENT (EXISTING):	
MINIMUM REQUIRED PER LOCAL CODE	131
4 SPACES PER 1,000 SF	
MAXIMUM ALLOWED PER LOCAL CODE	327
10 SPACES PER 1,000 SF	
PARKING PROVIDED:	
STANDARD SPACES	153
COMPACT SPACES	26
ACCESSIBLE SPACES	6
TOTAL PARKING PROVIDED	185
BUILDING AREA - TOTAL PROPOSED AND EXISTING GRANDES:	
MINIMUM REQUIRED PER LOCAL CODE	219
4 SPACES PER 1,000 SF	
MAXIMUM ALLOWED PER LOCAL CODE	548
10 SPACES PER 1,000 SF	
PARKING PROVIDED:	
STANDARD SPACES	175
COMPACT SPACES	43
ACCESSIBLE SPACES	15
TOTAL PARKING PROVIDED	233

PROPERTY DATA:	
LOT AREA:	1.12 AC
CURRENT ZONING:	C-62
APPLICABLE ZONING:	PC-1
BUILDING SETBACKS:	
FRONT	20'
REAR & REAR	0'
LOT COVERAGE:	
BUILDING SHALL NOT COVER GREATER THAN 50% OF THE LOT AREA	
LOT AREA:	48,895 SF
BUILDING AREA:	12,150 SF
LOT COVERAGE:	24.8%
PERIMETER SCREENING AREA:	
PARKING LOTS BETWEEN 10,000 + 20,000 SF REQUIRE A PERIMETER SCREENING AREA WITH A MIN. DEPTH OF 6'. PARKING LOTS GREATER THAN 20,000 SF ARE TO HAVE A MIN. DEPTH OF 10'.	
PARKING LOT AREA:	24,323 SF
REQUIRED SCREENING DEPTH:	10'
PROVIDED MIN. SCREENING DEPTH:	7'
ALTERNATIVE DESIGN JUSTIFICATION:	
IN ORDER TO MAXIMIZE THE AVAILABLE DEPTH OF THE PERIMETER SCREENING, THE PARKING SPACES ON THE EASTERN PORTION OF THE SITE WILL BE COMPACT SPACES. ADDITIONALLY, THE EASTERN AND WESTERN PORTIONS OF THE BUILDING WILL HAVE 6' WIDE LANDSCAPE STRIPS THAT WILL BE PLANTED WITH TREES, SHRUBS, AND GRASSES. TREES, SHRUBS, AND GRASSES WILL ALSO BE PLANTED ALONG THESE PERIMETERS OF THE SITE.	

LEGEND:	
	EXISTING PROPERTY LINE
	PROPOSED EXTRUDED CURB
	LIGHT DUTY ASPHALT PAVING
	HEAVY DUTY ASPHALT PAVING
	CITY OF KNOXVILLE ASPHALT PAVING
	HEAVY DUTY CONCRETE PAVING

LEGEND:	
(A)	LANDSCAPE AREA/LAND
(B)	CONCRETE SIDEWALK (SEE DETAIL SHEET)
(C)	CONCRETE SIDEWALK WITH INTEGRAL CURB (SEE DETAIL SHEET)
(D)	CONCRETE SIDEWALK WITH INTEGRAL CURB (SEE DETAIL SHEET)
(E)	6" EXTRUDED CONCRETE CURB (TYP) (SEE DETAIL SHEET)
(F)	HANDCAP SPACE WITH PAINTED ACCESSIBLE SYMBOL (TYP)
(G)	ADA ACCESSIBLE RAMP (MATCH AS SHOWN IN PLANS) (SEE DETAIL SHEET)
(H)	DETECTABLE WARNING STRIP (SEE DETAIL SHEET)
(I)	4" WIDE WHITE DIAGONAL PAINT STRIPES AT 2'-0" O.C. W/ 4" WHITE BORDER STRIPES
(J)	4" WIDE PAINTED WHITE PARKING STRIPES (TYP)
(K)	PAINTED STOP BAR (SEE DETAIL SHEET)
(L)	PAINTED WHITE DIRECTIONAL ARROW (TYP) (SEE DETAIL SHEET)
(M)	12" TALL "COMPACT CAR" PAVEMENT MARKING @ COMPACT PARKING SPACES (TYP) @ LOCATIONS
(N)	RH-1 "STOP" SIGN (SEE DETAIL SHEET)
(O)	ACCESSIBLE PARKING SIGN (SEE DETAIL SHEET)
(P)	ACCESSIBLE PARKING SIGN W/ "VAN ACCESSIBLE" PLAQUE (SEE DETAIL SHEET)
(Q)	5' WIDE PEDESTRIAN CROSSWALK - 6" WIDE WHITE STRIPES PERPENDICULAR TO TRAFFIC
(R)	5' WIDE PEDESTRIAN CROSSWALK - 2" WIDE WHITE STRIPES PARALLEL TO TRAFFIC SPACES AT 4' O.C.
(S)	DUMPSTER ENCLOSURE (SEE ARCHITECTURAL PLANS)
(T)	CONCRETE STAIRS W/ RAILING (SEE DETAIL SHEET)
(U)	BIKE RACKS (SEE DETAIL SHEET)
(V)	PIPE BOLLARD (SEE DETAIL SHEET)
(W)	TRANSFORMER PAD PER UTILITY PROVIDER REQUIREMENTS
(X)	GENERATOR PAD (SEE ARCHITECTURAL PLANS)

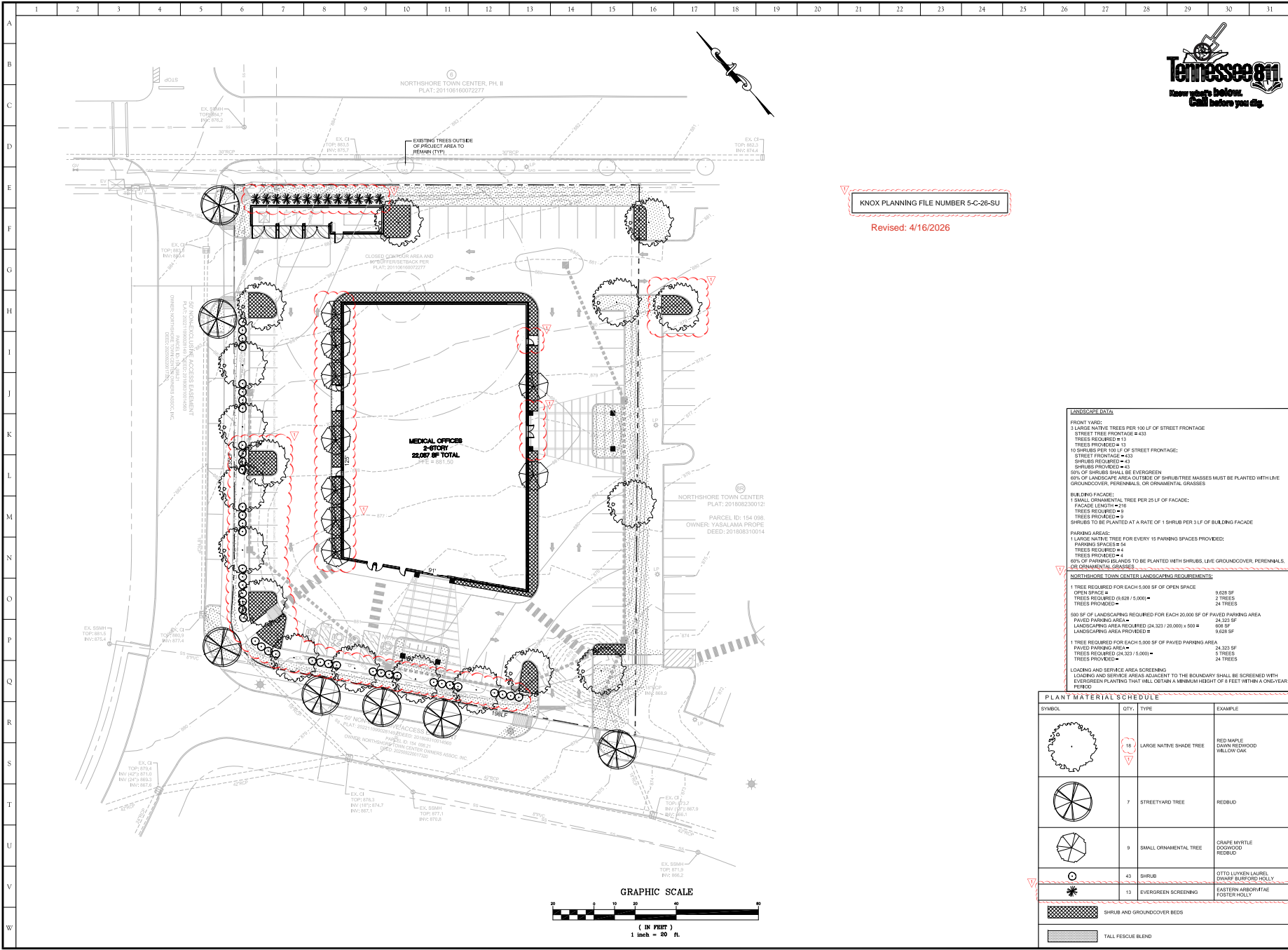


Use on Review - Site Layout Plan
Knox Endoscopy at Northshore Town Center
 1925 Town Center Boulevard
 Knoxville, Tennessee 37922
 Ward 51, CLT Map 154, City Block 51008, Parcel 08.2

REVISIONS		
NO.	DATE	COMMENTS
1	04/16/2026	Knox Planning Comments

ORIGINAL ISSUE: 03/21/2026
 SITE PROJECT #: 1758-KE
 FILE: _____

C4.0



KNOX PLANNING FILE NUMBER 5-C-26-SU

Revised: 4/16/2026

- LANDSCAPE DATA**
- FRONT YARD:**
 2 LARGE NATIVE TREES PER 100 LF OF STREET FRONTAGE
 STREET TREE FRONTAGE = 433
 TREES REQUIRED = 11
 TREES PROVIDED = 11
 10 SHRUBS PER 100 SF OF STREET FRONTAGE:
 STREET FRONTAGE = 433
 SHRUBS REQUIRED = 43
 SHRUBS PROVIDED = 43
 80% OF SHRUBS SHALL BE EVERGREEN
 80% OF LANDSCAPE AREA OUTSIDE OF SHRUB TREE MASSES MUST BE PLANTED WITH LIVE GROUNDCOVER, PERENNIALS, OR ORNAMENTAL GRASSES
- BUILDING FACADE:**
 1 SMALL ORNAMENTAL TREE PER 20 LF OF FACADE:
 FACADE LENGTH = 726
 TREES REQUIRED = 9
 TREES PROVIDED = 9
 SHRUBS TO BE PLANTED AT A RATE OF 1 SHRUB PER 3 LF OF BUILDING FACADE
- PARKING AREA:**
 1 LARGE NATIVE TREE FOR EVERY 15 PARKING SPACES PROVIDED:
 PARKING SPACES = 34
 TREES REQUIRED = 4
 TREES PROVIDED = 4
 80% OF PARKING ISLANDS TO BE PLANTED WITH SHRUBS, LIVE GROUNDCOVER, PERENNIALS, OR ORNAMENTAL GRASSES
- NORTHSHORE TOWN CENTER LANDSCAPING REQUIREMENTS:**
- 1 TREE REQUIRED FOR EACH 5,000 SF OF OPEN SPACE
 OPEN SPACE = 9,628 SF
 TREES REQUIRED (9,628 / 5,000) = 2 TREES
 TREES PROVIDED = 24 TREES
- 500 SF OF LANDSCAPING REQUIRED FOR EACH 20,000 SF OF PAVED PARKING AREA
 PAVED PARKING AREA = 24,323 SF
 LANDSCAPING AREA REQUIRED (24,323 / 20,000) x 500 = 608 SF
 LANDSCAPING AREA PROVIDED = 9,628 SF
- 1 TREE REQUIRED FOR EACH 5,000 SF OF PAVED PARKING AREA
 PAVED PARKING AREA = 24,323 SF
 TREES REQUIRED (24,323 / 5,000) = 2 TREES
 TREES PROVIDED = 24 TREES
- LOADING AND SERVICE AREA SCREENING**
 LOADING AND SERVICE AREA ADJACENT TO THE BOUNDARY SHALL BE SCREENED WITH EVERGREEN PLANTING THAT WILL OBTAIN A MINIMUM HEIGHT OF 8 FEET WITHIN A ONE-YEAR PERIOD

PLANT MATERIAL SCHEDULE			
SYMBOL	QTY.	TYPE	EXAMPLE
	11	LARGE NATIVE SHADE TREE	RED MAPLE DIWIDY REDWOOD WILLOW OAK
	7	STREETYARD TREE	REDBUD
	9	SMALL ORNAMENTAL TREE	GRAPE MYRTLE DOGWOOD REDBUD
	43	SHRUB	OTTO LUYKEN LAUREL DIWIDY REDWOOD EASTERN ARBORVITAE FOSTER HOLLY
	13	EVERGREEN SCREENING	EASTERN ARBORVITAE FOSTER HOLLY
		SHRUB AND GROUNDCOVER BEDS	
		TALL FESCUE BLEND	

Tennessee 811
 Now what's below?
 Call before you dig.

SITE, INCORPORATED
 CIVIL ENGINEERS & SURVEYORS
 EST. 1997
 10215 Technology Drive, Suite 304
 Knoxville, TN 37932
 (865) 777-4160
 www.site-incorporated.com



Use on Review - Landscape Plan

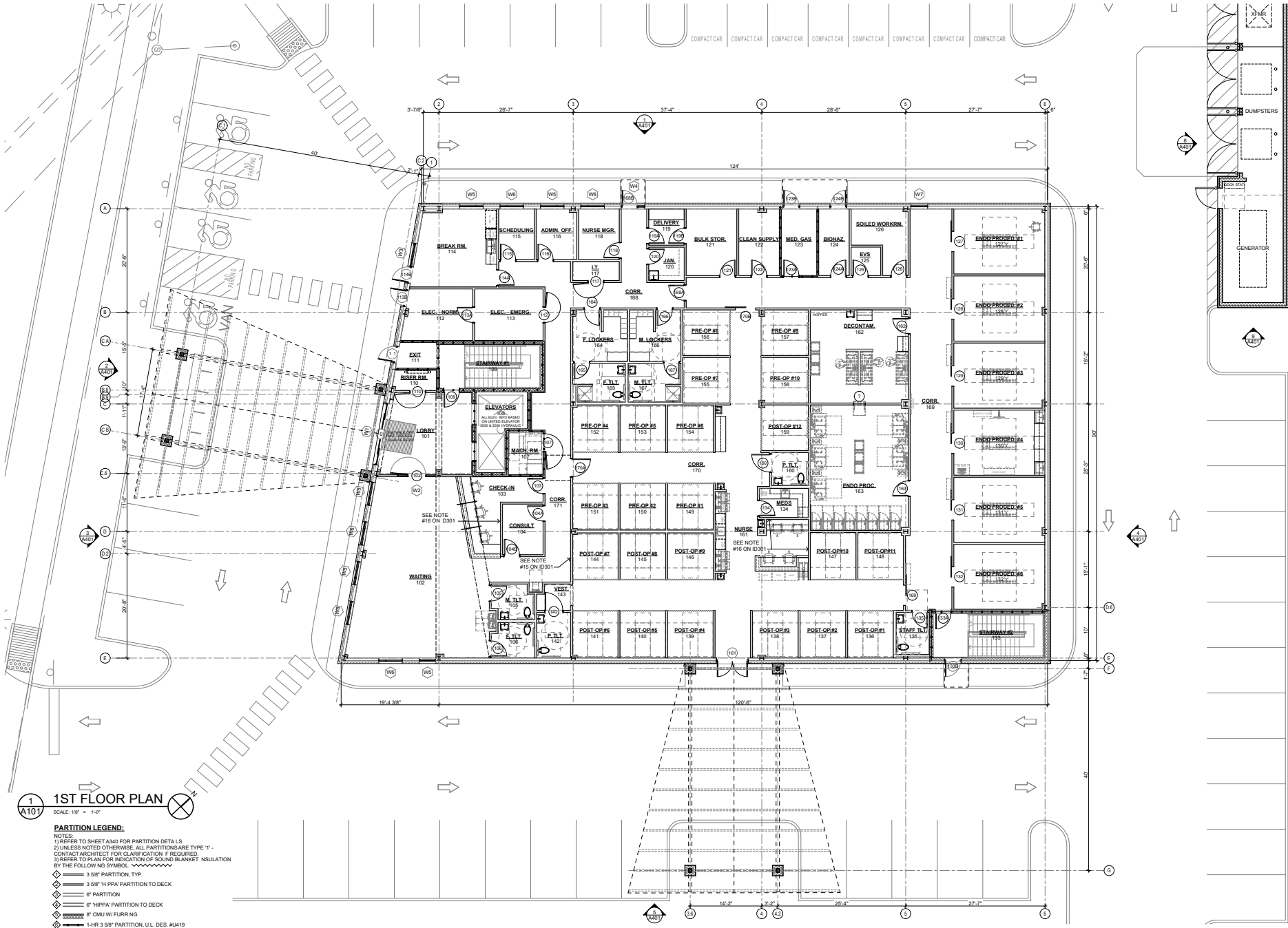
Knox Endoscopy at Northshore Town Center
 1925 Town Center Boulevard
 Knoxville, Tennessee 37922
 Ward 51, CLT Map 154, City Block 51008, Parcel 198.2

REVISIONS

NO.	DATE	COMMENTS
1	04/16/2026	Knox Planning Comments

ORIGINAL ISSUE: 03/27/2026
 SITE PROJECT #: 1758-KE
 FILE: Landscape

L1.0



1 1ST FLOOR PLAN
 SCALE: 1/8" = 1'-0"

- PARTITION LEGEND:**
- NOTES:
 1) REFER TO SHEET A340 FOR PARTITION DETAILS.
 2) UNLESS NOTED OTHERWISE, ALL PARTITIONS ARE TYPE "1".
 CONTACT ARCHITECT FOR CLARIFICATION IF REQUIRED.
 3) REFER TO PLAN FOR INDICATION OF SOUND BLANKET INSULATION BY THE FOLLOWING SYMBOL:
- 3/8" PARTITION, TYP.
 - 3/8" PPA PARTITION TO DECK
 - 6" PARTITION
 - 6" HIPPA PARTITION TO DECK
 - 8" CMU W/ FURRING
 - 1-1/2" 3/8" PARTITION, U.L. DES. #U419
 - 6" FULL-HEIGHT PARTITION
 - 3/8" FULL-HEIGHT PARTITION



A MEDICAL OFFICE BUILDING FOR
KNOX ENDOSCOPY & UT MEDICAL CENTER
 1925 TOWN CENTER BLVD.
 KNOXVILLE, TN 37922
 KNOX PLANNING FILE # 5-C-26-SU

5-C-26-SU
 Revised: 4/16/2026

1ST FLOOR PLAN

DATE: 20 APR 2026
 PROJECT NO.: 23017
 PROJECT MGR.: STUART
 REVISION #1: 16 APR 2026

A101



A MEDICAL OFFICE BUILDING FOR
KNOX ENDOSCOPY & UT MEDICAL CENTER
1925 TOWN CENTER BLVD.
KNOXVILLE, TN 37922
KNOX PLANNING FILE # 5-C-26-SU








5-C-26-SU
Revised: 4/16/2026

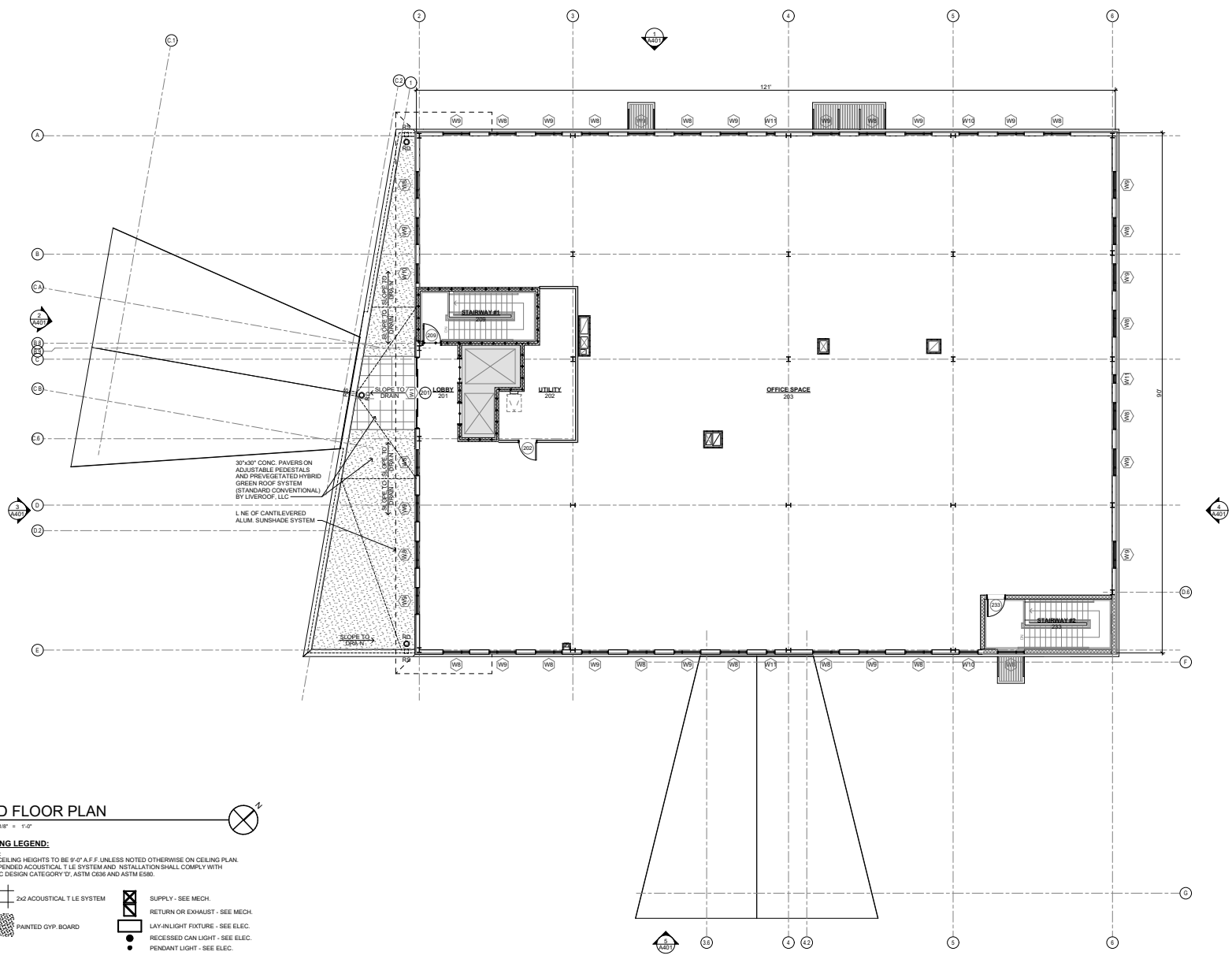
2ND FLOOR PLAN

DATE: 20 APR 2026
PROJECT NO.: 23017
PROJECT MGR.: STUART
REVISION #1: 16 APR 2026

A102

1
A102
2ND FLOOR PLAN
SCALE: 1/8" = 1'-0"

- CEILING LEGEND:**
- NOTES:
1) ALL CEILING HEIGHTS TO BE 9'-0" A.F.F. UNLESS NOTED OTHERWISE ON CEILING PLAN.
2) SUSPENDED ACOUSTICAL T-LE SYSTEM AND INSTALLATION SHALL COMPLY WITH SEISMIC DESIGN CATEGORY 'D', ASTM C936 AND ASTM E580.
-  2x2 ACOUSTICAL T-LE SYSTEM
 -  PAINTED GYP. BOARD
 -  SUPPLY - SEE MECH.
 -  RETURN OR EXHAUST - SEE MECH.
 -  LAY-IN LIGHT FIXTURE - SEE ELEC.
 -  RECESSED CAN LIGHT - SEE ELEC.
 -  RENDANT LIGHT - SEE ELEC.





GAE
ARCHITECTURE
+ DESIGN

404 Bearden Park Circle
Knoxville, TN 37919
Tel: 865.602.7771
Fax: 865.602.7742
www.gae96.com



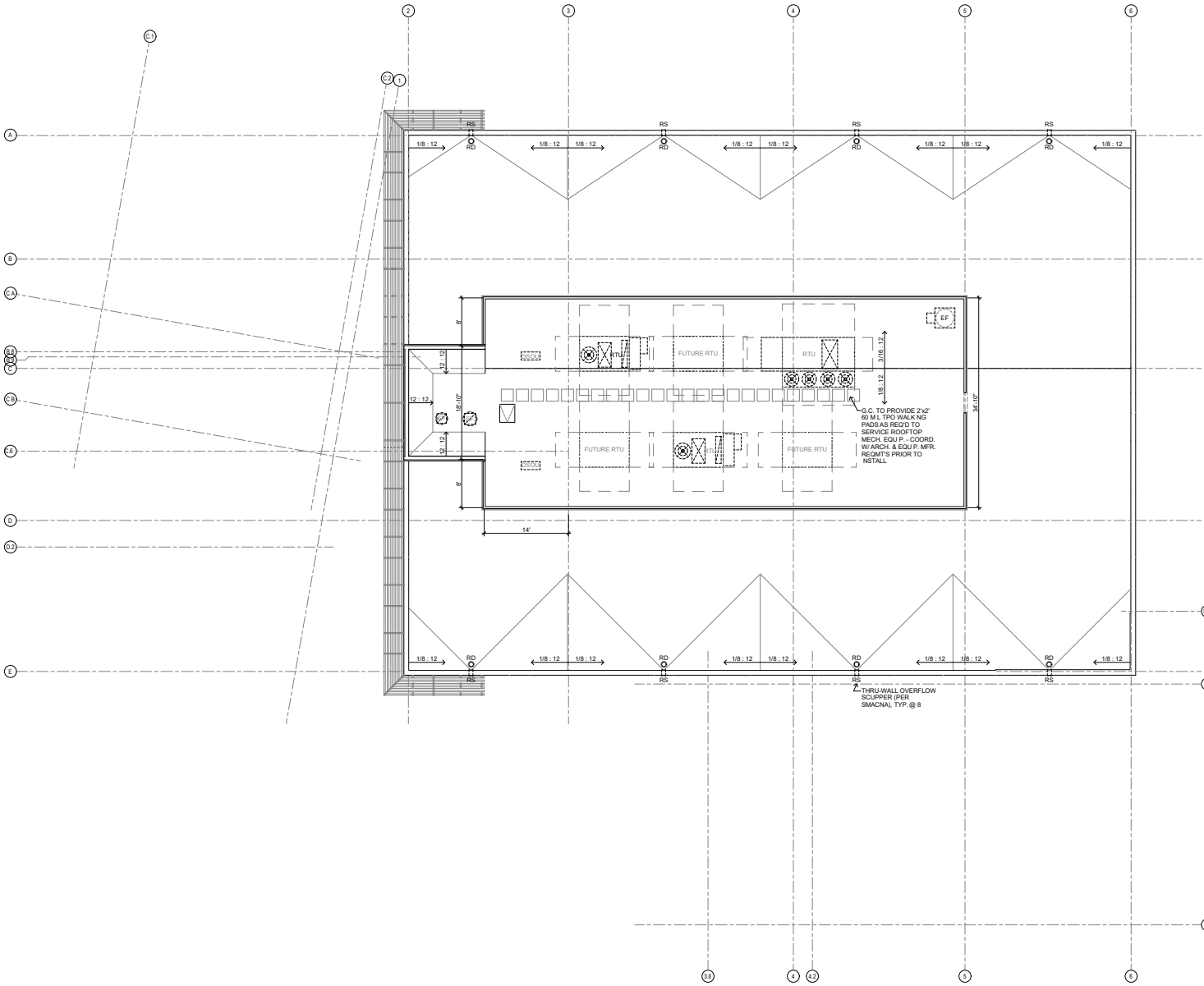
A MEDICAL OFFICE BUILDING FOR
**KNOX ENDOSCOPY &
UT MEDICAL CENTER**
1925 TOWN CENTER BLVD.
KNOXVILLE, TN 37922
KNOX PLANNING FILE # 5-C-26-SU

5-C-26-SU
Revised: 4/16/2026

ROOF PLAN

DATE: 20 APR 2026
PROJECT NO.: 23017
PROJECT MGR.: STUART
REVISION #1: 16 APR 2026

A110



1
A110
ROOF PLAN
SCALE: 1/8" = 1'-0"





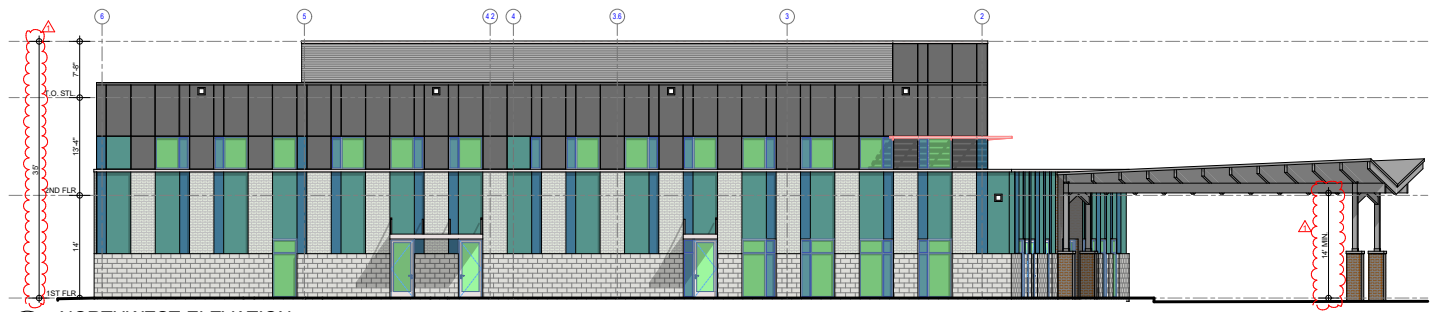
A MEDICAL OFFICE BUILDING FOR
KNOX ENDOSCOPY & UT MEDICAL CENTER
1925 TOWN CENTER BLVD.
KNOXVILLE, TN 37922
KNOX PLANNING FILE # 5-C-26-SU

5-C-26-SU
Revised: 4/16/2026

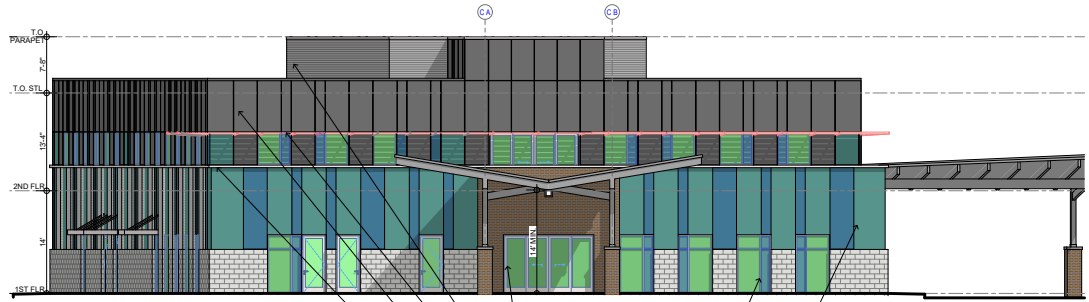
EXTERIOR ELEVATIONS

DATE: 20 APR 2026
PROJECT NO.: 23017
PROJECT MGR.: STUART
REVISION #1: 16 APR 2026

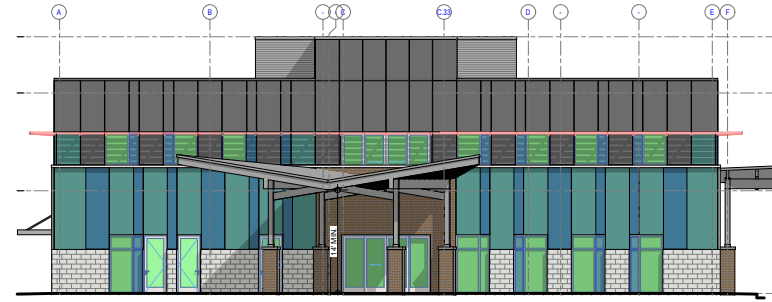
A401



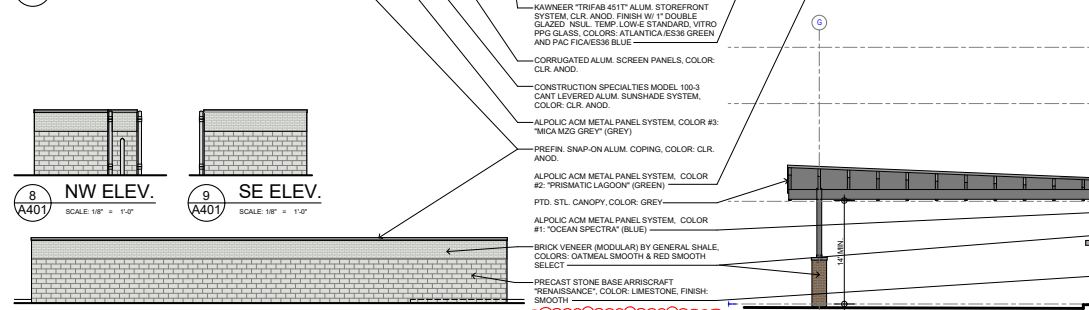
1 NORTHWEST ELEVATION
SCALE: 1/8" = 1'-0"



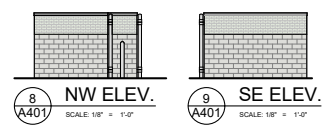
2 WEST ELEVATION
SCALE: 1/8" = 1'-0"



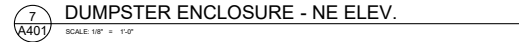
3 SOUTHWEST ELEVATION
SCALE: 1/8" = 1'-0"



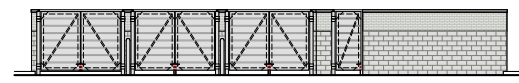
- KAWNEER TRIFAB 4511" ALUM. STOREFRONT SYSTEM CLR. ANOD. FINISH W/ 1" DOUBLE GLAZED NSUL. TEMP. LOWE STANDARD, VITRO PFG GLASS, COLORS: ATLANTICA:ES36 GREEN AND PAC FIC:ES36 BLUE
- CORRUGATED ALUM. SCREEN PANELS, COLOR: CLR. ANOD.
- CONSTRUCTION SPECIALTIES MODEL 100-3 CANT LEVERED ALUM. SUNSHADE SYSTEM, COLOR: CLR. ANOD.
- ALPOLIC ACM METAL PANEL SYSTEM, COLOR #3: "MICA M2G GREY" (GREY)
- PREFR. SNAP-ON ALUM. COPING, COLOR: CLR. ANOD.
- ALPOLIC ACM METAL PANEL SYSTEM, COLOR #2: "PRISMATIC LAGOON" (GREEN)
- PTD. STL. CANOPY, COLOR: GREY
- ALPOLIC ACM METAL PANEL SYSTEM, COLOR #1: "OCEAN SPECTRA" (BLUE)
- BRICK VENEER (MODULAR) BY GENERAL SHALE, COLORS: OATMEAL SMOOTH & RED SMOOTH SELECT
- PRECAST STONE BASE ARRISCRRAFT "RENAISSANCE", COLOR: LIMESTONE, FINISH: SMOOTH



8 NW ELEV. SCALE: 1/8" = 1'-0"
9 SE ELEV. SCALE: 1/8" = 1'-0"

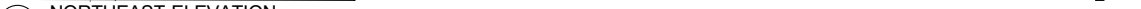


7 DUMPSTER ENCLOSURE - NE ELEV.
SCALE: 1/8" = 1'-0"

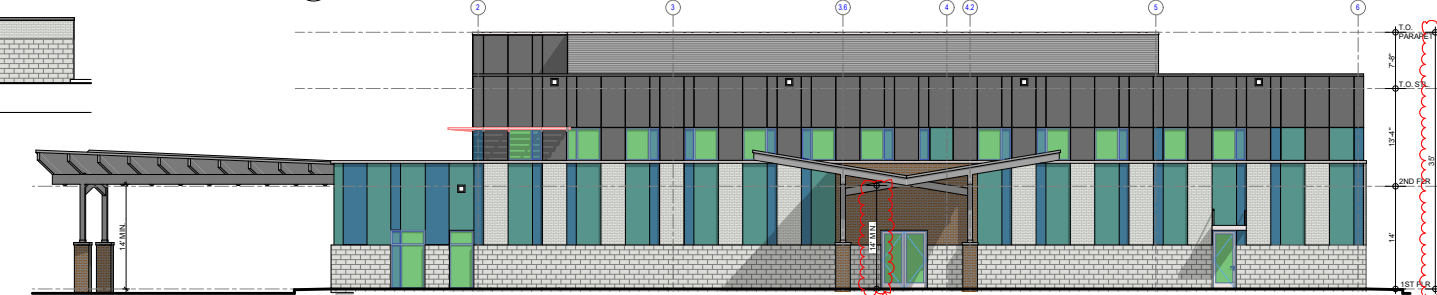


6 DUMPSTER ENCLOSURE - SW ELEV.
SCALE: 1/8" = 1'-0"

NOTE: ALL EXTERIOR SIGNAGE TO BE APPLIED FOR REV EW AND APPROVAL AT A LATER DATE



4 NORTHEAST ELEVATION
SCALE: 1/8" = 1'-0"



5 SOUTHEAST ELEVATION
SCALE: 1/8" = 1'-0"

Public Notice and Community Engagement

Planning strives to provide community members with information about upcoming cases in a variety of ways. In addition to posting public notice signs, our agency encourages applicants to provide information and offer opportunities for dialogue related to their upcoming case(s). The contact information you provide in your application may be used for that purpose. We require applicants to acknowledge their role in this process.

Sign Posting and Removal

The Administrative Rules and Procedures of the Knoxville-Knox County Planning Commission require a sign to be posted on the property for each application subject to consideration by the Planning Commission.

Planning staff will post the required sign. If a replacement sign(s) is needed, the applicant is responsible for picking up the new sign(s) from Planning and will be charged \$10 for each replacement.

Location and Visibility

The sign must be posted on the nearest adjacent/frontage street and in a location clearly visible to vehicles traveling in either direction. If the property has more than one street frontage, the sign should be placed along the street that carries more traffic. Planning staff may recommend a preferred location for the sign to be posted at the time of application.

Timing

The sign(s) must be posted not less than 12 days prior to the scheduled Planning Commission public hearing and must remain in place until the day after the meeting. In the case of a postponement, the sign can either remain in place or be removed and reposted not less than 12 days prior to the next Planning Commission meeting. The applicant is responsible for removing the sign after the application has been acted upon by the Planning Commission.

Acknowledgement

By signing below, you acknowledge that public notice signs must be posted and visible on the property consistent with the guidelines above and between the dates listed below.

~~05/02/2026~~

~~March 30, 2026~~

Date to be Posted

May 15, 2026

Date to be Removed

Have you engaged the surrounding property owners to discuss your request?

Yes No

No, but I plan to prior to the Planning Commission meeting



Applicant Signature

Stuart Anderson, AIA
Applicant Name

March 30, 2026
Date