



DEVELOPMENT PLAN REPORT

▶ **FILE #:** 5-G-26-DP

AGENDA ITEM #: 50

AGENDA DATE: 5/14/2026

▶ **APPLICANT:** **BLAKE MCDAVID**
OWNER(S): Mighty Financial LLC

TAX ID NUMBER: 119 02101 [View map on KGIS](#)

JURISDICTION: County Commission District 3

STREET ADDRESS: 330 N CEDAR BLUFF RD

▶ **LOCATION:** **East side of N Cedar Bluff Rd, north of Cross Park Dr**

▶ **APPX. SIZE OF TRACT:** **19415 square feet**

GROWTH POLICY PLAN: Urban Growth Area (Outside City Limits)

ACCESSIBILITY: Access is via N Cedar Bluff Rd, a major arterial, with a 65 ft pavement width within a 85 ft right-of-way.

UTILITIES: Water Source: West Knox Utility District
Sewer Source: West Knox Utility District

FIRE DISTRICT: Rural Metro Fire

WATERSHED: Ten Mile Creek

▶ **ZONING:** **PC (Planned Commercial), C-H-2 (Highway Commercial)**

PLACE TYPE: CMU (Corridor Mixed-Use) County, O (Office) City

▶ **EXISTING LAND USE:** **Office**

▶ **PROPOSED USE:** **Restaurant with drive-through window**

HISTORY OF ZONING: None noted.

SURROUNDING LAND USE AND ZONING: North: Commercial, office - PC (Planned Commercial) in the County

South: Commercial, office - C-H-2 (Highway Commercial) in the City

East: Office - C-H-2 (Highway Commercial) in the City

West: Private recreation, commercial - CH (Highway Commercial) in the County

NEIGHBORHOOD CONTEXT: This section of N Cedar Bluff Rd is in a commercial node just north of the I-40 interchange containing mostly fast food restaurants. Cedar Bluff Elementary and Catholic High School, and residential neighborhoods, are about 0.5 north of the commercial corridor.

STAFF RECOMMENDATION:

▶ **Approve the development plan for a drive-through restaurant with a walk-up window and patio, subject to 5 conditions.**

1) Provide a sidewalk to N Cedar Bluff Rd from the main entrance of the restaurant per the Knox County Sidewalk Ordinance (Chapter 54, Article IV of the Knox County Code).

- 2) Installing all landscaping, as shown on the landscape plan, within six months of issuance of occupancy permits for the project, or posting a bond with the Knox County Department of Engineering and Public Works, to guarantee such installation.
- 3) If during design plan approval or construction of the development, it is discovered that unforeseen off-site improvements within the right-of-way are necessary as caused by the development[WW1.1][MR1.2], the developer will either enter into a memorandum of understanding (MOU) with the County for these improvements or reimburse the County for their direct expenses (if completed by County crews) to make corrections deemed necessary.
- 4) Meeting all applicable requirements of the City of Knoxville and Knox County Engineering and Public Works.
- 5) Meeting all other applicable requirements of the Knox County Zoning Ordinance.

With the conditions noted, this plan meets the requirements for approval in the PC district and the criteria for approval of a development plan.

COMMENTS:

This proposal is for a new Small Sliders fast food drive-through facility in Cedar Bluff. The 0.45-acre site is on N Cedar Bluff Road, north of the I-40 interchange. The existing building on the property will be demolished. The proposed metal building is 935 sq ft and 22 ft, 1 inch tall. There will be no indoor dining, but there is a walk-up window and patio.

DEVELOPMENT PLAN ANALYSIS PER ARTICLE 6, SECTION 6.50.06 (APPROVAL OR DENIAL)

In the exercise of its administrative judgment, the Planning Commission shall determine if the proposed plan is in harmony with the general purpose and intent of the zoning ordinance and adopted plans.

1) ZONING ORDINANCE

PC (Planned Commercial):

A. It is not the intent of this zone to restrict potential development by limiting uses. In general, uses permitted shall include office, commercial services and light distribution centers. This restaurant proposal is consistent with the intent of the PC zone.

B. A Board of Zoning Appeals variance was obtained on 3/10/2026 to reduce the peripheral boundary on the southern side of the property from 50 ft to 40 ft.

2) KNOX COUNTY COMPREHENSIVE PLAN – FUTURE LAND USE MAP

A. The property's place type is CMU (Corridor Mixed-Use) on the Future Land Use Map. Corridor Mixed-Use areas are appropriate for moderate-scale walkable mixed-use development occurring along major corridors. These areas may incorporate office, retail, civic, residential, and community gathering spaces both vertically and horizontally and shall provide connectivity to nearby neighborhoods. There is a sidewalk along N Cedar Bluff Rd, which connects to the KAT bus stop at N Cedar Bluff Road and Sherrill Boulevard, residential neighborhoods, and the proposed Knox to Oak Ridge Greenway route.

3) KNOX COMPREHENSIVE PLAN - IMPLEMENTATION POLICIES

A. The new development is consistent with Implementation Policy 3, encourage infill and redevelopment of underutilized commercial land, and Policy 2, ensure that development is sensitive to existing community character. The new 1-story fast food restaurant is consistent with the fast food restaurants on Cedar Bluff Rd.

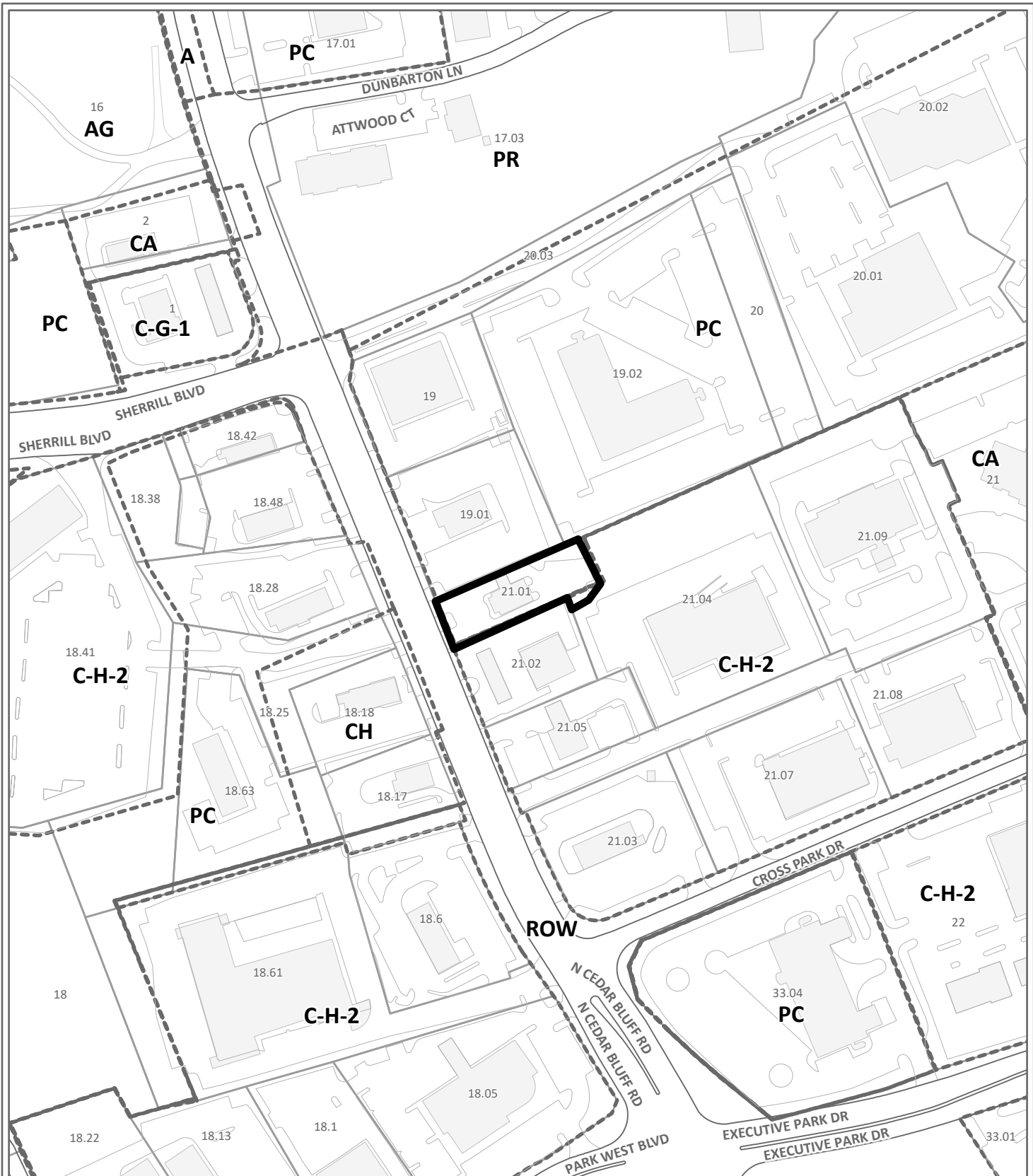
4) KNOXVILLE - FARRAGUT - KNOX COUNTY GROWTH POLICY PLAN

A. The property is within the Planned Growth Area. The purposes of the Planned Growth Boundary designation are to encourage a reasonably compact pattern of development, promote the expansion of the Knox County economy, offer a wide range of housing choices, and coordinate the actions of the public and private sectors, particularly with regard to the provision of adequate roads, utilities, schools, drainage and other public facilities and services. The proposed development is not in opposition to any of these criteria.

ESTIMATED TRAFFIC IMPACT: Not required.

ESTIMATED STUDENT YIELD: Not applicable.

The Planning Commission's approval or denial of this request is final, unless the action is appealed. For more information on the appeal process, contact Knoxville-Knox County Planning.



DEVELOPMENT PLAN

5-G-26-DP

Petitioner: Blake McDavid



Restaurant with drive-through window in PC (Planned Commercial), C-H-2 (Highway Commercial)

Original Print Date: 4/8/2026

Knoxville - Knox County Planning Commission * City / County Building * Knoxville, TN 37902

Map No: 119

Jurisdiction: City and County

0 210



Feet



Exhibit A. Contextual Images



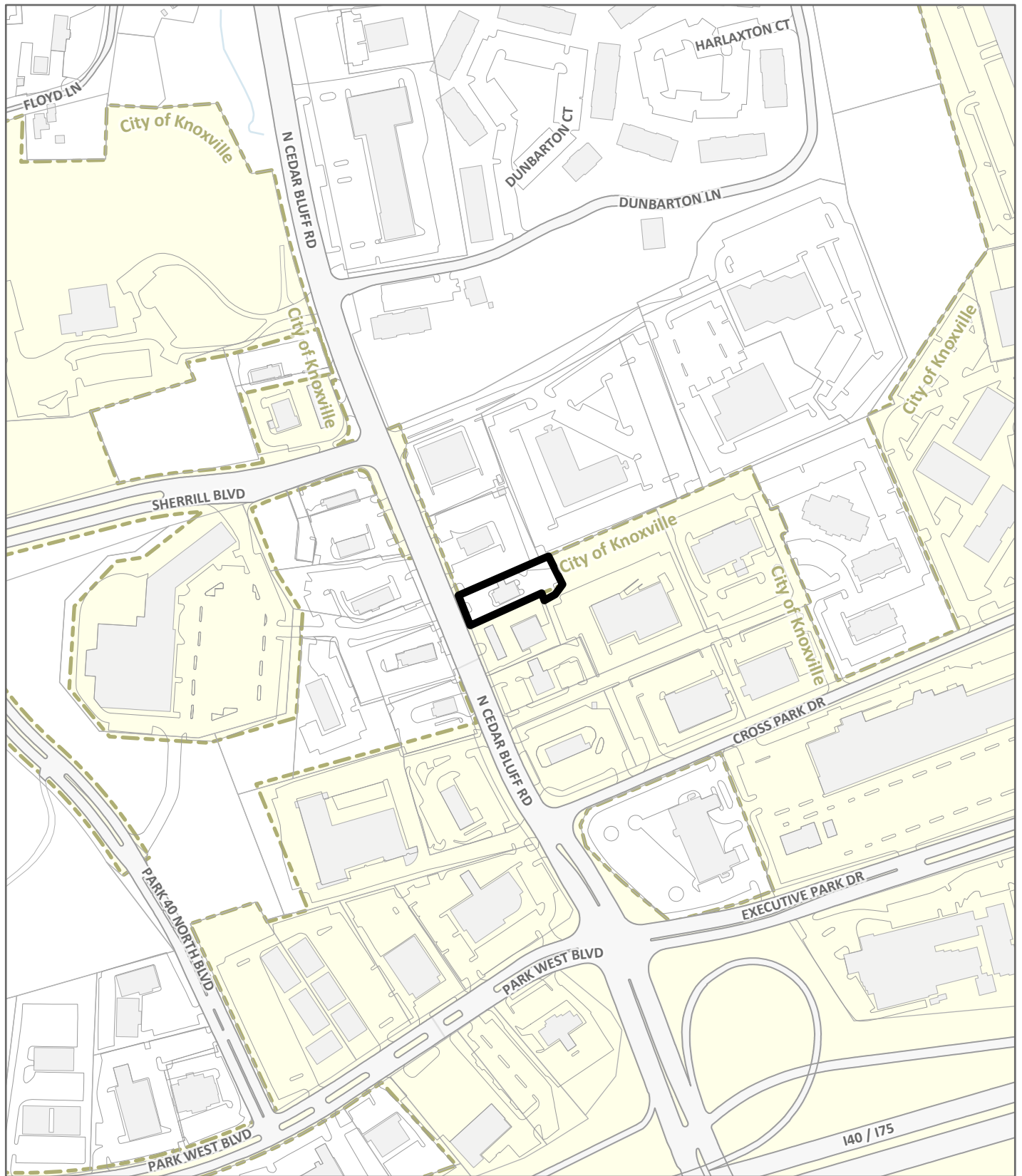
AERIAL MAP



Case boundary



Exhibit A. Contextual Images

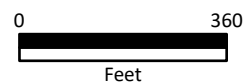


LOCATION MAP

5-G-26-DP



Case boundary



New Location for:

Smalls Sliders

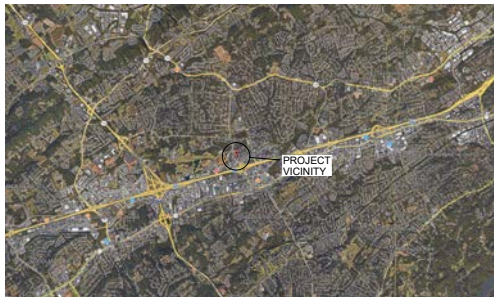


330 N. Cedar Bluff Road
Knoxville, TN

April 17, 2026
CRW Project # 202618
Progress Print - Rev. 1



VICINITY MAP



LOCATION MAP



DRAWING INDEX

GENERAL	
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REV 1 C-11A	TRUCK CIRCULATION DIAGRAM
REV 0 C-12	SITE LAYOUT DETAILS
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ARCHITECTURAL	
REV 0 A-11	EXTERIOR FLOOR PLAN
REV 0 A-21	CANOPY ELEVATIONS
ELECTRICAL	
REV 0 E-03	SITE PHOTOMETRICS PLAN
REV 0 E-04	POLE BASE DETAIL & FIXTURE CUTSHEETS

New Location for:
Smalls Sliders
330 N. Cedar Bluff Road
Knoxville, TN



130 Regional Park Dr.
Kingsport, TN 37660
Phn (423) 349-7760
Fax (423) 349-7413
www.grcinc.com

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no.	date	rev.	description
1	04-17-26		ADDRESS PLANNING COMMENTS

ELECTRICAL

Blaser Engineering
342 Moore Street
Bristol, VA 24201
Phone: (423) 349-8380
Email: jimblaser@gmail.com

STRUCTURAL

SPODEN & WILSON CONSULTING ENGINEERS
430 CLAY STREET
KINGSFORT, TENNESSEE 37660
Phone: (423) 245-1181 Fax: (423) 245-0852
email: sweng@spodenwilson.com

ARCHITECT / CIVIL

Cain Rash West Architects
130 Regional Park Dr.
Kingsport, TN 37660
Phn (423) 349-7760
Fax (423) 349-7413
www.grcinc.com

PROGRESS PRINT
4/17/2026
NOT FOR CONSTRUCTION

issued	XX MONTH 2023
checked	cdr
drawn	cdr
project no.	202618

COVER SHEET

G-00

ABBREVIATIONS

ABV	ABOVE	HSV	HOMOGENEOUS SHEET V. NYL
ACT	ACUSTICAL TILE	HT	HEIGHT
ADA	AMERICANS WITH DISABILITIES ACT	INSUL	INSULATION
A.F.F.	ABOVE FINISHED FLOOR	JT	JOINT
ALUM.	ALUMINUM	LAV.	LAVATORY
@	AT OR AT THE RATE OF	MANUF.	MANUFACTURER
APPROX.	APPROXIMATELY	MATL.	MATERIAL
B	BUILDING LINE	MAX.	MAXIMUM
BLDG.	BUILDING	MECH.	MECHANICAL
BKNG	BLOCKING	MDF	MEDIUM DENSITY FIBERBOARD
BOIT	BOTTOM	MFD	MULTIFUNCTION DEVICE
BRG.	BEARING	MH	MAN HOLE
C.B.	CATCH BASIN	MIN	MINIMUM, OR MINUTES
C	CENTERLINE	MIRR.	MIRROR IMAGE OF TYPICAL DETAIL
CJ	CONTROL JOINT	M.O.	MASONRY OPENING
CLG.	CEILING	M.R.	MOISTURE RESISTANT
CMU	CONCRETE MASONRY UNIT	MTL.	METAL
C.O.	CLEAN OUT	N.I.C.	NOT IN CONTRACT
CONC.	CONCRETE	NOM.	NOMINAL
CONT.	CONTIGUOUS	O.C.	ON CENTER
COORD.	COORDINATE	OCC.	OCCUPANTS
CORR.	CORRIDOR	PH.	PHASE
CTR.	CENTER	PKG.	PACKAGE
DTL.	DETAIL	P	PLATE
D.F.	DRINKING FOUNTAIN	POLY	POLYETHYLENE
DA.Ø	DIAMETER	PR.	PAIR
DWG.	DRAWING	PSI	POUNDS PER SQUARE INCH
D.W.	DISH WASHER	P.T.	PRESSURE TREATED
(E)	EXISTING	PT.	PAINT, OR PAINTED
EA.	EACH	R	RADIUS, RISER
E.I.F.S.	EXTERIOR INSULATION AND FINISH SYSTEM	RD	ROOF DRAIN
EJ	EXPANSION JOINT	RDL	ROOF DRAIN LEADER
EL	ELEVATION	REQD	REQUIRED
ELEC.	ELECTRICAL	R.O.	ROUGH OPENING
EQ.	EQUAL	S	SQUARE
EXIST.	EXISTING	SCHED.	SCHEDULE
EXP.	EXPANSION	S.M.	SIMILAR
EXT.	EXTERIOR	SQ.	SQUARE
F.D.	FLOOR DRAIN	STD.	STANDARD
FOUN.	FOUNDATION	STL.	STEEL
F.E.	FIRE EXTINGUISHER	STRLCT.	STRUCTURE, OR STRUCTURAL
F.F.	FISHED FACE	SUSP.	SUSPENDED
FN.	FISHED	TK	THICK
FLR.	FLOOR	TLT.	TOILET
FGF.	FACE OF FINISH	T.O.	TOP OF
FTG.	FOOTING	T.O.F.	TOP OF FOOTING
F.V.	FIELD VERIFY	T.O.S.	TOP OF STEEL
GA.	GAUGE	TPP.	TYPICAL
GALV.	GALVANIZED, HOT DIPPED	U.L.	UNDERWRITER'S LABORATORIES, INC.
G.H.M.	GALVANIZED HOLLOW METAL	W.	WIDE
GYP. BD.	GYP. BOARD	W.	WITH
H.B.	HOSE BIBB	WD.	WOOD
H.C.	HANDICAPPED	WDW.	WINDOW
HWDE.	HARDWARE	W.H.	WATER HEATER
H.M.	HOLLOW METAL	WOW	WORKSTATION ON WHEELS
		WVF	WELDED WIRE FABRIC

LEGEND

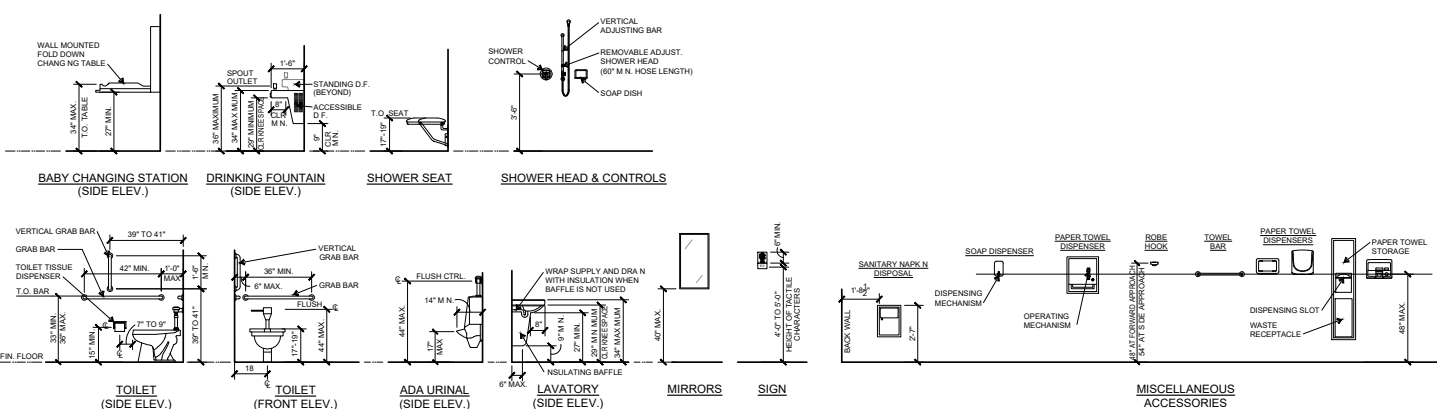
	EXISTING WALL CONSTRUCTION TO REMAIN
	EXISTING CONSTRUCTION TO BE REMOVED
	CONCRETE MASONRY (NEW, VIEWED IN PLAN & SECTION)
	METAL STUD AND GYPSUM BOARD WALL (NEW)
	METAL STUD AND GYPSUM BOARD WALL (PARTIAL HEIGHT WALL WITH CAP) (NEW)
	BRICK
	GYPSUM BOARD CEILING (IN PLAN)
	CASEWORK (IN PLAN VIEW)
	GLASS OR MIRROR (ELEVATION)
	BATT INSULATION
	VAPOR BARRIER
	CONCRETE (SECTION)
	CRUSHED STONE
	EARTH
	Denotes 2-HR RATED FREE STANDING FIRE WALL
	Denotes 2-HR RATED FIRE SEPARATION WALL / SMOKE BARRIER
	Denotes 1-HR RATED FIRE BARRIER
	Denotes Non-Rated Smoke Partition

SYMBOLS

	IDENTIFICATION MARK LETTER (SECTIONS AND ELEVATIONS)
	IDENTIFICATION MARK NUMBER (DETAILS)
	DRAWING WHERE SECTION IS CUT OR ELEVATION OR DETAIL IS CALLED OUT
	DRAWING WHERE SECTION IS SHOWN
	ELEVATION IDENTIFICATION
	DRAWING WHERE ELEVATION IS SHOWN
	DETAIL IDENTIFICATION
	DRAWING WHERE DETAIL IS SHOWN
	WALL TYPE IDENTIFICATION
	WINDOW TYPE IDENTIFICATION
	DOOR MARK NUMBER (CORRESPONDS WITH ROOM NUMBER)
	INDICATES QUANTITY OF DOORS PER SPACEROOM (A, B, C, ETC.)
	ROOMSPACE IDENTIFICATION
	ROOM NUMBER
	EXISTING ROOM
	GRAY TEXT DENOTES EXISTING ROOM
	COLUMN IDENTIFICATION
	COLUMN LINE
	REVISION NUMBER

GENERAL NOTES

- CONTRACTOR SHALL CONFINE HIS OPERATIONS TO THE IMMEDIATE VICINITY OF THE WORK SITE AS DIRECTED BY THE OWNER.
- CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR THE VERIFICATION OF ACTUAL CONDITIONS SURROUNDING THE PROJECT, INCLUDING THE AS-BUILT LOCATIONS AND CONDITIONS OF EXISTING UTILITIES AND THE BUILDING STRUCTURE.
- CONTRACTOR SHALL COORDINATE THE LOCATIONS FOR THE STORAGE OF EQUIPMENT AND BUILDING MATERIALS WITH THE BUILDING OWNER. CONTRACTOR SHALL NOT BLOCK OR IMPEDE ACCESS TO THE BUILDING BY EXISTING TENANTS, CUSTOMERS OR EMERGENCY VEHICLES.
- CONTRACTOR SHALL COORDINATE ANY REQUIRED SHUT-DOWN OF UTILITIES WITH THE LOCAL BODIES HAVING JURISDICTION. CONTRACTOR SHALL VERIFY THE LOCATION OF ALL UNDERGROUND UTILITIES PRIOR TO PERFORMING ANY EXCAVATION OPERATIONS. ANY DAMAGE TO EXISTING UNDERGROUND UTILITIES, UNADVERTENT OR OTHERWISE, RESULTING FROM CONSTRUCTION OPERATIONS, SHALL BE REPAIRED OR REPLACED BY THE CONTRACTOR AT NO ADDITIONAL EXPENSE TO THE OWNER.
- UNLESS OTHERWISE NOTED, INTERIOR STUD WALLS SHALL BE CONSTRUCTED WITH 20 GA. 3/8" STEEL STUDS AT 16" ON CENTER WITH ONE (1) LAYER OF 5/8" THICK, TYPE "X" GYPSUM BOARD ON EACH FACE. (TOTAL WALL THICKNESS = 4 1/8") PROVIDE VERTICAL CONTROL JOINT AT ONE SIDE OF DOOR HEADS. (TYPICAL SET TRACK IN ACOUSTICAL SEALANT FOR SOUND CONTROL. (TYPICAL ALL WALLS.)
- PLAN DIMENSIONS DENOTE FACE OF NEW STUD TO FACE OF NEW STUD OR (FACE OF FINISH F. CONCRETE OR CMU) UNLESS OTHERWISE NOTED. (TYPICAL FOR NEW, INTERIOR STUD WALL CONSTRUCTION.)
- PLAN DIMENSIONS DENOTE FINISHED FACE OF EXISTING WALL TO FINISHED FACE OF EXISTING WALL UNLESS OTHERWISE NOTED. (TYPICAL FOR EXISTING WALLS.)
- ALL PARTITIONS SHALL BE CONTINUOUS FROM TOP OF FLOOR SLAB TO MIN. 8' ABOVE FIN. CEILING UNLESS OTHERWISE NOTED OR DETAILED. PROVIDE FIRE RESISTANT SOUND ATTENUATION BARRIERS IN ALL WALLS. (TYPICAL FULL HEIGHT OF WALL.) (SEE WALL TYPES.)
- PROVIDE ALL WALL BLOCKING AS REQUIRED FOR FIXTURES, CASEWORK, COMMUNICATIONS EQUIPMENT, ETC. ALL WOOD BLOCKING SHALL BE FIRE TREATED LUMBER. (CONTRACTOR MAY PROVIDE 20 GA. STEEL STUDS, IN LIEU OF WOOD BLOCKING, IN METAL STUD WALL CONSTRUCTION.) CONTRACTOR TO REVIEW LOCATIONS OF ALL WOOD BLOCKING WITH THE OWNER.
- CONTRACTOR SHALL PROVIDE 4x4, 3/4" TREATED PLYWOOD BLOCKING IN ALL COMMUNICATIONS CLOSURES.
- CONTRACTOR SHALL PROVIDE TEMPORARY CONSTRUCTION WALLS AND CLOSURES AS REQUIRED TO PREVENT THE SPREAD AND INFILTRATION OF DUST AND DEBRIS TO OTHER OCCUPIED AREAS OF THE BUILDING.
- ALL DEBRIS SHALL BE REMOVED FROM THE PROJECT SITE BY THE CONTRACTOR AND DISPOSED OF IN ACCORDANCE WITH ALL APPLICABLE LOCAL, STATE AND FEDERAL REQUIREMENTS. DEBRIS SHALL BE REMOVED FROM THE SITE DAILY.
- THE CONTRACTOR SHALL ACCESS THE BUILDING ONLY FROM LOCATIONS APPROVED BY THE OWNER'S REPRESENTATIVE. CONSTRUCTION OPERATIONS SHALL NOT IMPERE THE NORMAL FLOW OF TRAFFIC AT OTHER ENTRANCES.
- CONTRACTOR SHALL NOT BY BUILDING OWNER, AND ALL TENANTS, OF ANY REQUIRED UTILITY SHUT-DOWN NOT LESS THAN 48 HOURS IN ADVANCE OF THE SCHEDULED INTERRUPTION OF UTILITY SERVICES.
- DURING CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF THE BUILDING AND ITS CONTENTS FROM THE ELEMENTS AND FROM UNAUTHORIZED ENTRY. CONTRACTOR SHALL PROVIDE TEMPORARY CLOSURES AND BARRICADES AS REQUIRED TO MAINTAIN A SECURE ENVIRONMENT.
- CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR THE VERIFICATION OF ALL DIMENSIONS, LOCATIONS, SIZES, ETC. OF ALL BUILDING COMPONENTS, STRUCTURAL MEMBERS, EQUIPMENT, AND ACCESSORIES TO REMAIN.
- CONTRACTOR SHALL NOT IMPEDE TRAFFIC FLOW IN ROADWAYS OR PARKING AREAS. COMPLETE ACCESS TO THE BUILDING BY EMERGENCY VEHICLES SHALL BE MAINTAINED AT ALL TIMES DURING DEMOLITION AND CONSTRUCTION OPERATIONS.
- DOORS CONSTRUCTED AGAINST AN ADJACENT WALL SHALL BE PLACED 3" FROM THE OUTSIDE OF THE FRAME TO THE ADJACENT WALL (TYPICAL FOR STUD WALLS). DOORS IN MASONRY WALLS SHALL BE 8" (ONE BLOCK COURSE) FROM ADJACENT WALL. DOORS SHOWN IN THE CENTER OF A WALL SHALL BE CENTERED WITHIN THAT SPACE UNLESS OTHERWISE NOTED.
- VERTICAL CHANGES IN FLOOR LEVEL MAY NOT EXCEED 1/4" UNLESS HALF OR ALL OF THE VERTICAL PORTION IS BEVELED.
- CONTRACTOR IS RESPONSIBLE FOR PATCHING AND FINISHING ALL EXISTING WALLS THAT ARE DAMAGED DURING DEMOLITION OPERATIONS OR THROUGH THE INSTALLATION OF NEW ITEMS AND APPURTENANCES TO A UNIFORM APPEARANCE TO MATCH THAT OF ADJACENT FINISHES.
- THIS DRAWING SET UTILIZES COLOR FOR CLARITY AND IS BEST INTERPRETED WHEN VIEWED OR PRINTED IN COLOR.
- THIS DRAWING SET IS INTENDED TO BE PRINTED AT 24"x36" SHEET SIZE. DO NOT SCALE DRAWINGS FROM ANY OTHER SIZE PRINT.



ACCESSORY MOUNTING DETAILS

SCALE: 3/8" = 1'-0"

New Location for:
Smalls Sliders
 330 N. Cedar Bluff Road
 Knoxville, TN

Cain Rash West
 Architects
 130 Regional Park Dr.
 Kingsport, TN 37660
 Pnn (423) 349-7760
 Fax (423) 349-7413
 www.grcinc.com

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no.	date	rev.	description



issued 04-13-2026
 checked CDR
 drawn CDR/LR
 project no. 202618

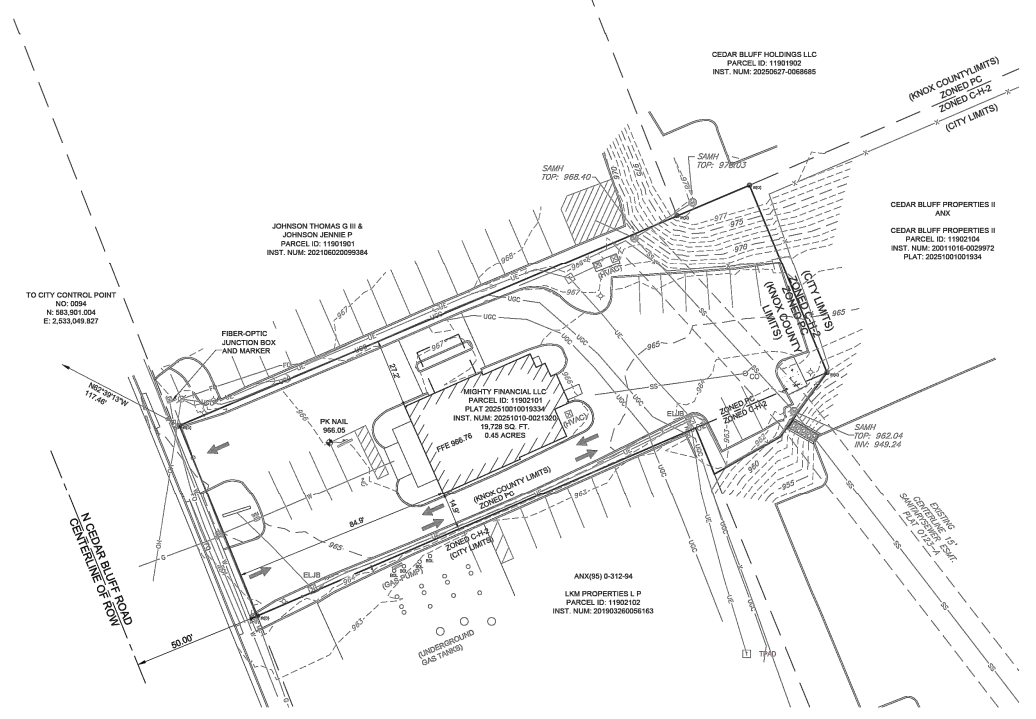
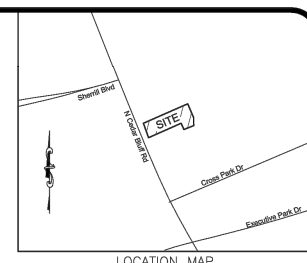
GENERAL INFORMATION

G-01

Notes:
GPS BR7

For boundary and topographic aspects of this survey, RTK GPS positional data was observed on between the dates of 4-26-25 utilizing a Carlson BR7 multi-frequency receiver. The grid coordinates of the Fixed Stations shown were derived by an RTK unit using TDDT network referenced to NAD 83 (2011 EPOCH) (2016), Sheet 18.

Positional accuracy of the GPS vectors does not exceed: H 0.05", VD 15"
Distance in US Survey Feet. Unless otherwise stated.
Combined Grid Factor 0.9991932032 centered on Fixed Station 1 location being:
N 583,840,484; E 2,533,212,413; ELEV: 966.05 as shown on map.



CERTIFICATE OF ACCURACY

I hereby certify that this is a category "1" survey and the ratio of precision of the unadjusted survey exceeding 1:10,000 and that this survey was done in compliance with current Minimum Standards of Practice for the State of Tennessee.

[Signature] Date: 1-7-26
Registered Land Surveyor
Tennessee Certificate No. 2033

- LEGEND**
- (R/O) IRON ROD (OLD)
 - (R/N) 1/2" IRON ROD (NEW)
 - ▲ PK NAIL
 - PROPERTY LINE
 - - - ADJOINING PROPERTY
 - CENTER LINE
 - EXIST. WATERLINE
 - EXIST. WATER VALVE
 - EXIST. WATER METER
 - EXIST. FIRE HYDRANT
 - EXIST. TRANSFORMER PAD
 - OVERHEAD ELECTRIC LINE
 - UNDERGROUND ELECTRIC LINE
 - EXIST. POWER POLE-TEL. POLE
 - EXIST. LIGHT POLE
 - EXIST. SANITARY SEWER LINE
 - EXIST. SANITARY SEWER MANHOLE
 - EXIST. SEWER-STORM CLEAN-OUT
 - EXIST. STORM MANHOLE
 - EXIST. STORM LINE
 - EXIST. CURB INLET OR STORM DRAIN
 - EXIST. GAS VALVE
 - EXIST. GAS METER
 - EXIST. GAS LINE
 - UNDERGROUND COMMUNICATION
 - EXIST. FENCE
 - TEL-POD EXIST. TELEPHONE PEDestal
 - LOT NO. (NEW)
 - LOT NO. (OLD)

Project:
Map 119 Parcel 021.01
330 N Cedar Bluff Rd
Mighty Financial LLC
Knoxville, Tennessee

LAND DEVELOPMENT SOLUTIONS

OWNER:
PARCEL ID: 119 02101
MIGHTY FINANCIAL LLC
2229 LOVELL RD
KNOXVILLE, TN 37932

SITE ADDRESS : 330 N CEDAR BLUFF RD.
KNOXVILLE - 37923
ZONING : PLANNED COMMERCIAL ZONE)

310 SIMMONS RD., SUITE 140 KNOXVILLE, TENNESSEE 37922
PH: 865-571-2281

Boundary and Topographic Survey

Drawing Description:

No.	Date	Revision

Drawn by: *[Signature]*
Checked: *[Signature]*
Approved: *[Signature]*
Job No. 2026002
Scale 1"=20'
Date 1-7-26

SUR-1
Sheet No.

New Location for:
Smalls Sliders
330 N. Cedar Bluff Road
Knoxville, TN

Cain Rash West
Architects

130 Regional Park Dr.
Kingsport, TN 37660
Phn (423) 349-7760
Fax (423) 349-7413
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no.	date	rev.	description

FOR REFERENCE ONLY
NOT FOR CONSTRUCTION

issued 03-30-2026
checked B W J
drawn
project no. 202618

EXISTING SITE SURVEY

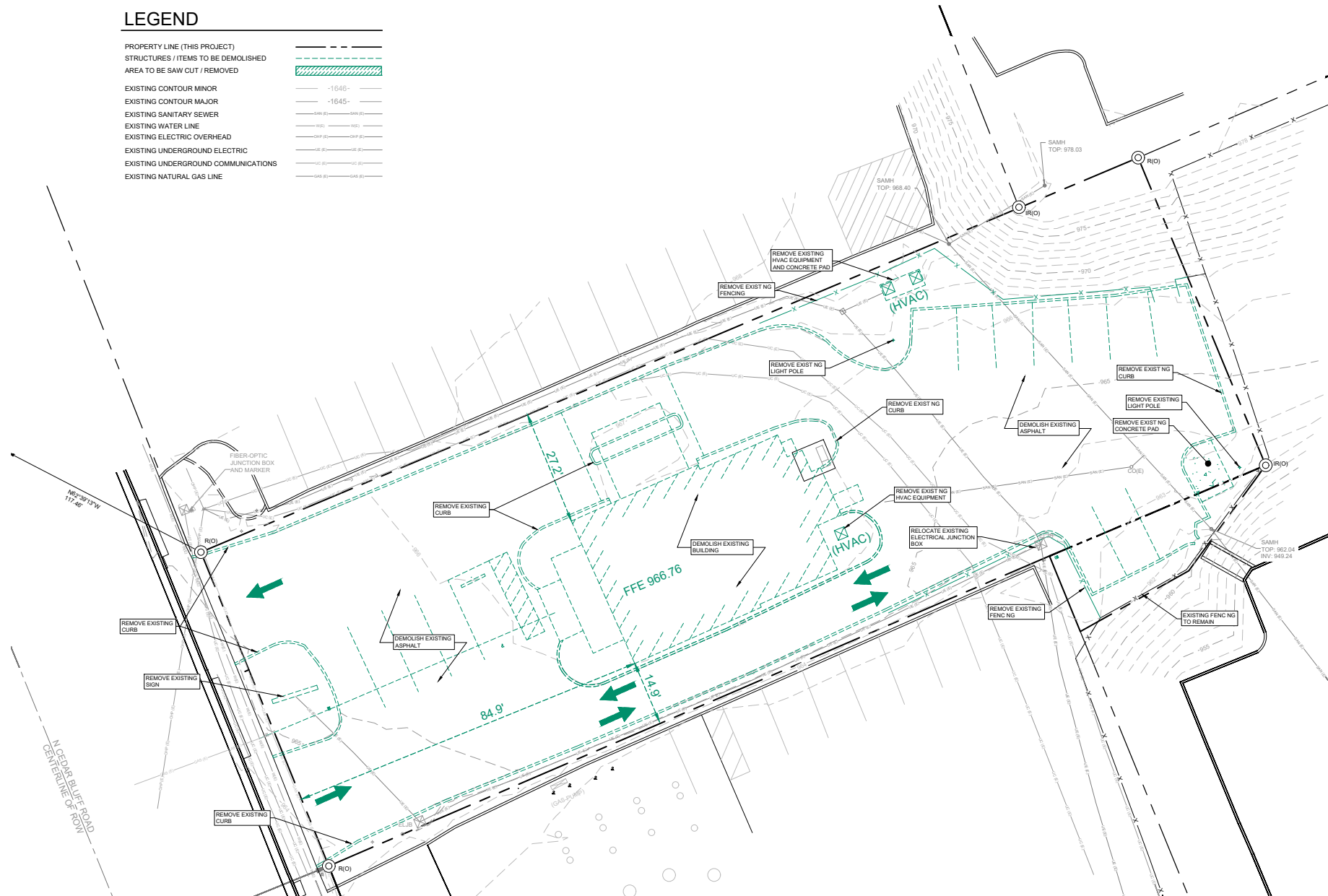
V-01

EXISTING SITE SURVEY
SCALE: N.T.S.

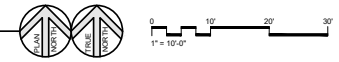


LEGEND

- PROPERTY LINE (THIS PROJECT)
- STRUCTURES / ITEMS TO BE DEMOLISHED
- AREA TO BE SAW CUT / REMOVED
- EXISTING CONTOUR MINOR -1646-
- EXISTING CONTOUR MAJOR -1645-
- EXISTING SANITARY SEWER (S)
- EXISTING WATER LINE (W)
- EXISTING ELECTRIC OVERHEAD (E)
- EXISTING UNDERGROUND ELECTRIC (UE)
- EXISTING UNDERGROUND COMMUNICATIONS (UC)
- EXISTING NATURAL GAS LINE (G)



SITE LAYOUT PLAN
SCALE: 1" = 10'-0"



New Location for:
Smalls Sliders
330 N. Cedar Bluff Road
Knoxville, TN

**Cain
Rash
West**
Architects
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no.	date	rev.	description



issued	04-13-2026
checked	J.G. BWJ
drawn	BWJ
project no.	202618

SITE DEMOLITION PLAN

C-01

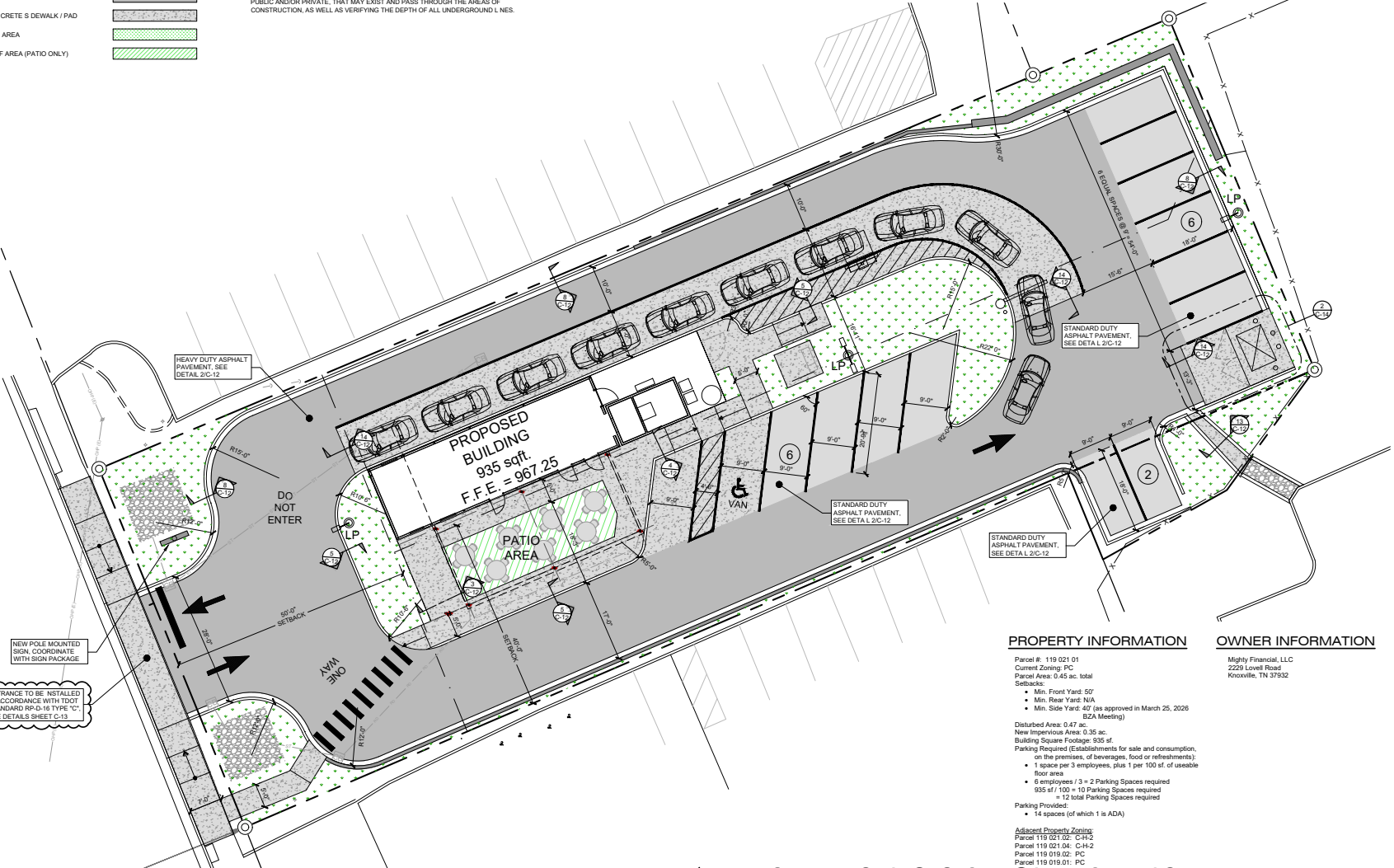
REVISED: 4/13/2026 11:44:17 AM. REV: C-01. SITE DEMOLITION PLAN_202618.DWG

LEGEND

PROPERTY LINE THIS PROJECT	---
ADJACENT PROPERTY L LINE	---
EXISTING OVERHEAD POWER	---OP (D)---
EXISTING UNDERGROUND COMMUNICATION	---UC (D)---
EXISTING UNDERGROUND POWER	---EP (D)---
EXISTING STORM SEWER	---SS (D)---
EXISTING SANITARY SEWER	---SAN (D)---
EXISTING WATER LINE	---W (D)---
PROPOSED STANDARD DUTY ASPHALT	▒
PROPOSED HEAVY DUTY ASPHALT	▒
PROPOSED CONCRETE S DEWALK / PAD	▒
PROPOSED SOD AREA	▒
PROPOSED TURF AREA (PATIO ONLY)	▒

SITE NOTES

- ALL EXISTING STRUCTURES, S DEWALKS, ASPHALT PAVING, AND SITE UTILITIES SHALL BE FIELD VERIFIED PRIOR TO CONSTRUCTION.
- FOR THE ESTABLISHMENT OF SUB-GRADES, THE FOLLOWING FINISHED SURFACE THICKNESSES SHALL BE APPLICABLE:
 ASPHALT: HEAVY DUTY - 12.5" (1" FINISH COURSE, 3" BINDER COURSE, AND 8" STONE BASE) STD. DUTY - 8.5" (1.5" FINISH COURSE, 2" BINDER COURSE, AND 6" STONE BASE) BUILDINGS: 8" 4" CONCRETE SLAB AND 4" CRUSHED STONE BASE. SEE STRUCTURAL.
- PROVIDE POSITIVE DRAINAGE TO ALL LOW POINTS TO PREVENT PONDING OF SURFACE RUN-OFF.
- ALL UTILITY CONNECTIONS AND/OR MODIFICATIONS TO EXISTING UTILITY SERVICES SHALL BE COORDINATED WITH THE LOCAL AUTHORITY HAVING JURISDICTION.
- THIS PLAN DOES NOT GUARANTEE THE EXISTENCE OR NON-EXISTENCE OF UTILITIES OR THE DEPTH OF UTILITIES EXCEPT AS SPECIFICALLY INDICATED ON THE DRAWINGS AT POINTS OF SPECIFIED INVERTS OR TOPS OF PIPES EXCAVATED AND MEASURED IN THE FIELD. PRIOR TO ANY CONSTRUCTION, OR EXCAVATION FOR CONSTRUCTION, THE CONTRACTOR SHALL ASSUME THE RESPONSIBILITY OF LOCATING AND VERIFYING ALL UTILITIES ABOVE OR BELOW GROUND, PUBLIC AND/OR PRIVATE, THAT MAY EXIST AND PASS THROUGH THE AREAS OF CONSTRUCTION, AS WELL AS VERIFYING THE DEPTH OF ALL UNDERGROUND LINES.
- OVERHEAD, SURFACE, AND SUB-SURFACE INVESTIGATIONS: THE INFORMATION REGARDING EXISTING UNDERGROUND CONDUITS, CABLES, UTILITIES, AND GROUND STRUCTURES HAS BEEN OBTAINED BY THE ARCHITECT FOR HIS OWN USE. ALL SUCH INFORMATION AND THE DRAWINGS OF EXISTING CONSTRUCTION, ARE FURNISHED ONLY FOR THE INFORMATION AND CONVENIENCE OF THE BIDDERS. THE ACCURACY OR COMPLETENESS OF THIS INFORMATION IS NOT GUARANTEED BY THE ARCHITECT AND IT IS NOT INTENDED TO BE CONSIDERED AS PART OF THE CONTRACT DOCUMENTS EVEN THOUGH SHOWN FOR GUIDANCE ON SOME DRAWINGS. THE CONTRACTOR MUST UNDERTAKE SUCH INVESTIGATIONS AS HE DEEMS NECESSARY TO VERIFY THE LOCATION OF SUCH UNDERGROUND CONDUITS, CABLES, UTILITIES, AND GROUND STRUCTURES. THE CONTRACTOR MUST ASSUME ALL RISKS IN EXCAVATING FOR THIS CONTRACT BASED ON HIS OWN INVESTIGATION OF THESE UNDERGROUND CONDUITS, CABLES, UTILITIES, AND GROUND STRUCTURES.
- IN NO CASE DURING CONSTRUCTION SHALL WATER RUN-OFF BE DIVERTED OR ALLOWED TO FLOW TO LOCATIONS WHERE ADEQUATE PROTECTION HAS NOT BEEN PROVIDED.
- IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO LEAVE THE SITE ADEQUATELY PROTECTED AGAINST EROSION, SEDIMENTATION, OR ANY DAMAGE TO ANY ADJACENT PROPERTY AT THE END OF EACH DAY'S WORK.
- THE CONTRACTOR SHALL CONSTRUCT AND MAINTAIN EROSION CONTROL MEASURES SUFFICIENT TO PREVENT SOIL FROM BEING ERODED FROM THE SITE INTO ANY ADJACENT DRAINAGE SYSTEM, DITCH, OR WATER COURSE. ANY MATERIAL THAT IS SO ERODED SHALL BE PROMPTLY REMOVED.
- TEMPORARY DRAINAGE DURING CONSTRUCTION SHALL BE PROVIDED BY THE CONTRACTOR TO RELIEVE FLOODED AREAS THAT MAY CAUSE DAMAGE TO THE SITE OR CITY RIGHT-OF-WAY.
- THE CONTRACTOR IS RESPONSIBLE FOR ADEQUATELY CLEANING EQUIPMENT PRIOR TO LEAVING CONSTRUCTION SITE, SO AS NOT TO TRACK MUD, ASPHALT, ETC., ONTO PUBLIC RIGHT-OF-WAY. THE CONTRACTOR IS RESPONSIBLE FOR ANY CLEAN-UP OPERATIONS ON ADJACENT PROPERTY OR PUBLIC RIGHT-OF-WAY DUE TO MUD, ASPHALT, ETC., THAT IS TRACKED FROM THE CONSTRUCTION SITE.
- REMOVAL OF ERODED SEDIMENTS SHALL INCLUDE REMOVAL OF SEDIMENTS FROM ANY OFF-SITE DRAINAGE SYSTEM, INCLUDING EXISTING DITCHES AND STORM SEWERS, WHICH CONTAIN SEDIMENTS ERODED FROM THE WORK AREA.
- ALL STREETS, STORM SEWER PIPES, DRAIN NEETS, AND CURB NEETS SHALL BE CLEANED OF DEBRIS AND ERODED MATERIAL DURING THE FINAL STAGE OF CONSTRUCTION.



PROPERTY INFORMATION

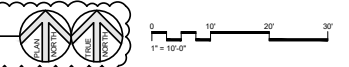
Parcel #: 119 021 01
 Current Zoning: PC
 Parcel Area: 0.45 ac, total
 Setbacks:
 • Min. Front Yard: 50'
 • Min. Rear Yard: N/A
 • Min. Side Yard: 40' (as approved in March 25, 2026 BZA Meeting)
 Disturbed Area: 0.47 ac
 New Impervious Area: 0.35 ac
 Building Square Footage: 935 sq. ft.
 Parking Required (Establishments for sale and consumption, on the premises, of beverages, food or refreshments):
 • 1 space per 3 employees, plus 1 per 100 sq. ft. of useable floor area
 • 6 employees / 3 + 2 Parking Spaces required
 935 sf / 100 = 10 Parking Spaces required
 + 12 total Parking Spaces required
 Parking Provided:
 • 14 spaces (of which 1 is ADA)

OWNER INFORMATION

Mighty Financial, LLC
 2229 Lovell Road
 Knoxville, TN 37932

SITE LAYOUT PLAN

SCALE: 1" = 10'-0"



New Location for:
Smalls Sliders
 330 N. Cedar Bluff Road
 Knoxville, TN

Cain Rash West
 Architects

130 Regional Park Dr.
 Kingsport, TN 37660
 Pnn (423) 349-7760
 Fax (423) 349-7413
 www.grcinc.com

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no.	date	rev. description
1	04-17-26	ADDRESS PLANNING COMMENTS



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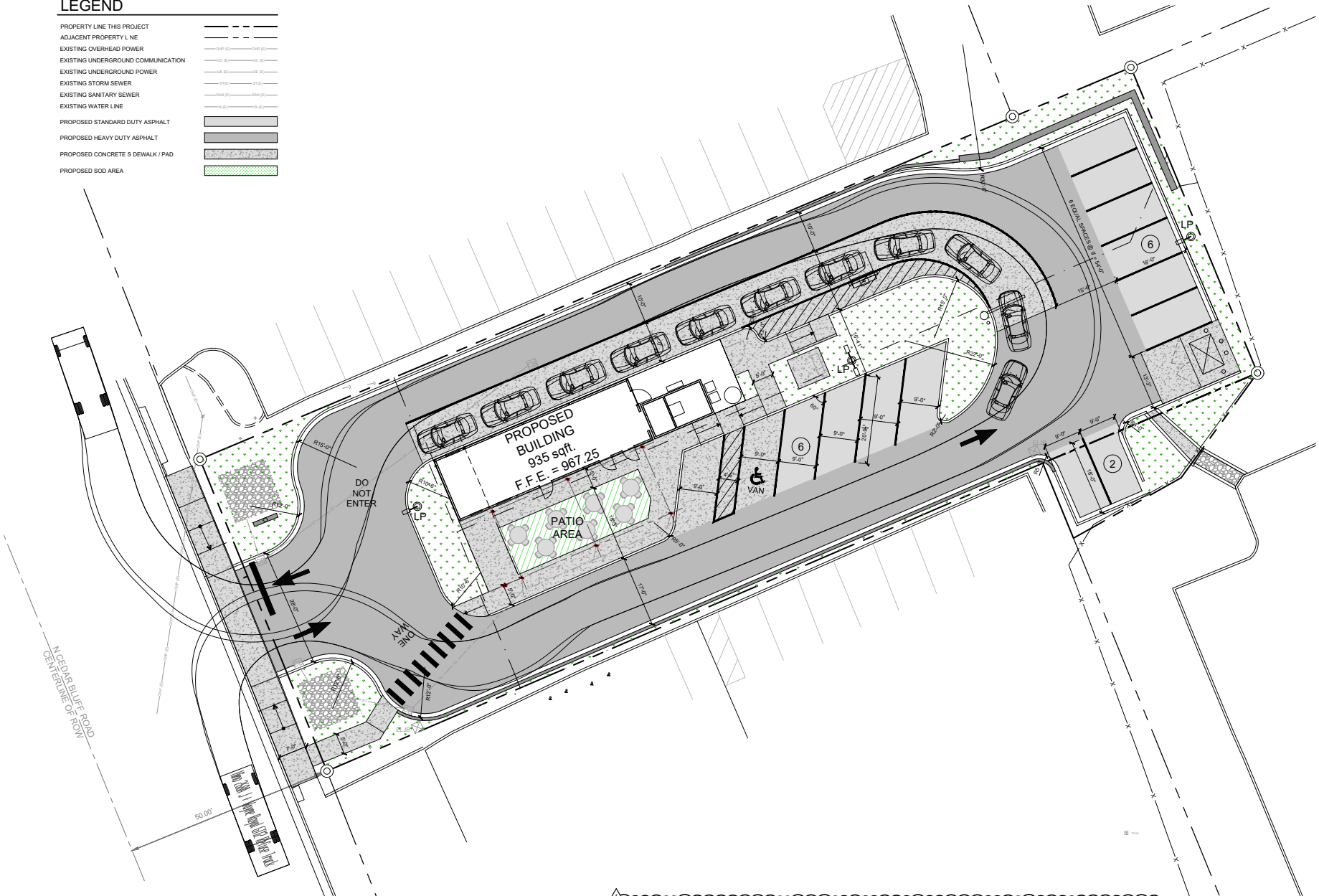
SITE LAYOUT PLAN

C-11

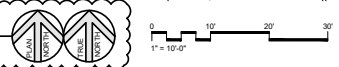
DRAWING NO. 410202618-0202618-01 REV. C-11-12 SITE LAYOUT PLAN (SHEET 11 OF 12) DATE: 04/17/2026

LEGEND

- PROPERTY LINE THIS PROJECT
- ADJACENT PROPERTY LINE
- EXISTING OVERHEAD POWER
- EXISTING UNDERGROUND COMMUNICATION
- EXISTING UNDERGROUND POWER
- EXISTING STORM SEWER
- EXISTING SANITARY SEWER
- EXISTING WATER LINE
- PROPOSED STANDARD DUTY ASPHALT
- PROPOSED HEAVY DUTY ASPHALT
- PROPOSED CONCRETE S DEWALK / PAD
- PROPOSED SOD AREA



TRUCK CIRCULATION DIAGRAM (GARBAGE TRUCK)
SCALE: 1" = 10'-0"



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Knoxville, TN



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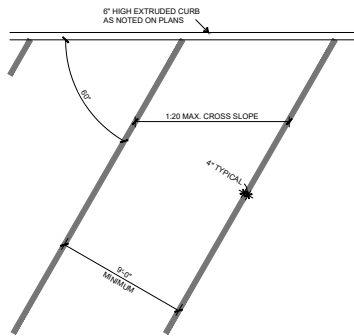


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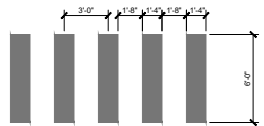
TRUCK CIRCULATION DIAGRAM

C-11A

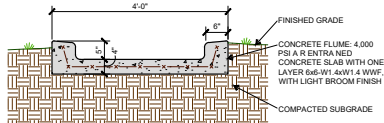
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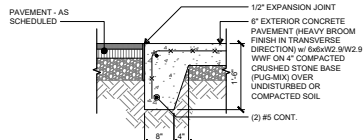
60° PAVEMENT STRIPING (11)
SCALE: 1/4" = 1'-0"
C-12



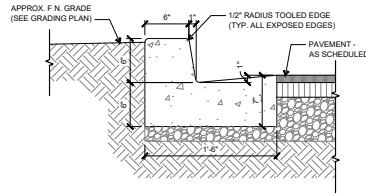
CROSSWALK STRIPING (12)
SCALE: 1/4" = 1'-0"
C-12



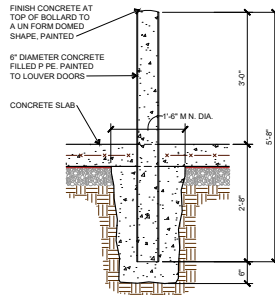
FLUME SECTION (13)
SCALE: 3/4" = 1'-0"
C-12



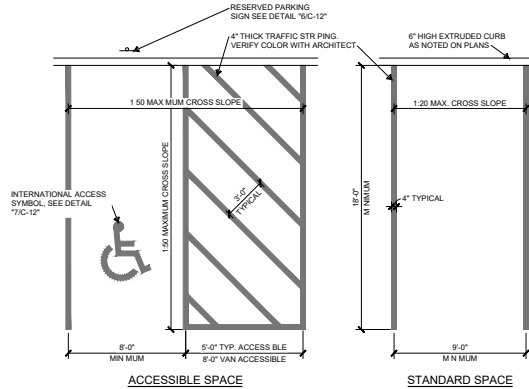
CONCRETE PAVEMENT (14)
SCALE: 3/4" = 1'-0"
C-12



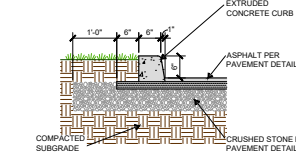
CONCRETE CURB AND GUTTER (8)
SCALE: 1 1/2" = 1'-0"
C-12



BOLLARD (9)
SCALE: 3/4" = 1'-0"
C-12

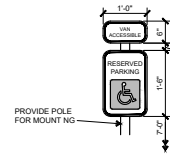


PAVEMENT STRIPING (10)
SCALE: 1/4" = 1'-0"
C-12

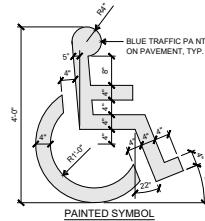


CURB DETAIL (5)
SCALE: 3/4" = 1'-0"
C-12

- SIGN NOTES**
- LOCATIONS SHALL BE DETERMINED IN THE FIELD. ALL MARKING, SIGNAGE, AND PARKING SPACE SIZES SHALL COMPLY WITH THE DEPT. OF JUSTICE 2010 ADA STANDARDS.
 - THIS IS A STANDARD US DOT R7-8 SIGN AND MAY BE ORDERED FROM ANY TRAFFIC SIGN SUPPLIER BY NUMBER. THE SIGN MUST BE SUPPLEMENTED WITH A "VAN ACCESSIBLE" SIGN IN LOCATIONS SHOWN ON THE SITE PLAN.
 - LOCAL REGULATIONS MAY REQUIRE A SIGN WITH THE FINE AMOUNT FOR ILLEGALLY PARKING IN THE RESERVED SPACE(S).

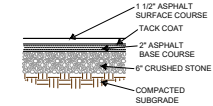


SIGN DETAIL (6)
SCALE: 3/4" = 1'-0"
C-12

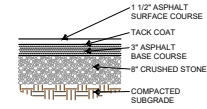


ADA DETAIL (7)
SCALE: 3/4" = 1'-0"
C-12

- NOTES**
- REFER TO GRADING PLAN C-21 FOR AREA OF NEW CUT AND STANDARD PAVING PER DETAIL BELOW.

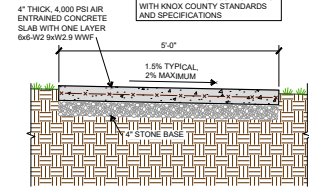


STANDARD DUTY ASPHALT PAVEMENT (1)
SCALE: 3/4" = 1'-0"
C-12

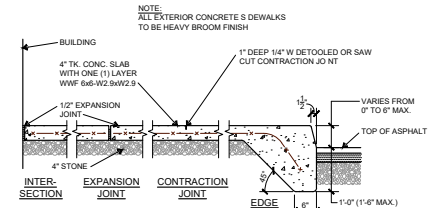


HEAVY DUTY ASPHALT PAVEMENT (2)
SCALE: 3/4" = 1'-0"
C-12

- SIGN NOTES**
- ALL S/D SIDEWALK CONSTRUCTION SHALL BE IN STRICT CONFORMANCE WITH INDIAN COUNTY STANDARDS AND SPECIFICATIONS.



SIDEWALK SECTION (3)
SCALE: 3/4" = 1'-0"
C-12



SIDEWALK DETAIL (4)
SCALE: 3/4" = 1'-0"
C-12

New Location for:
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Knoxville, TN

Cain Rash West
Architects
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SITE LAYOUT DETAILS

C-12



Smalls Sliders
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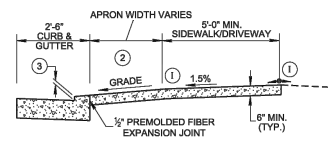


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TDOT ENTRANCE DETAILS

C-13

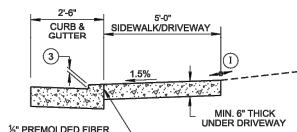
- REV. 7-15-08: UPDATED SIDEWALK DIMENSIONS.
- REV. 4-4-16: ADDED ITEM NUMBERS, UPDATED SLOPES AND DIMENSIONS, UPDATED NOTES.
- REV. 07-16-18: ADDED NOTES TO CONC. FLARE AND GRASS FLARE IN ISOMETRIC VIEW. ADD GENERAL NOTE (E) & (G).
- REV. 01-07-19: ADDED LIMITS FOR ITEM NO. 701-02. ADJUSTED LOCATION OF GENERAL NOTE NOS. (I) & (J) ON DETAILS. REDRAW SHEET.
- REV. 10-16-20: ADDED GENERAL NOTE (K) MINERAL AGGREGATE ITEM NUMBER AND BASE MATERIAL ON SECTIONS 9-B AND D-D.
- REV. 06-15-21: REVISED AND MERGED GENERAL NOTES (I) AND (J). ADJUSTED LOCATION OF GENERAL NOTE NOS. REVISED GENERAL NOTES (E) AND (G) ADDED PAY ITEM NO. 701-02-02.
- REV. 10-28-2021: FOOTNOTE NUMBER 7 WAS ADDED. SIDE WIDTH AND FOOTNOTE NUMBER 7 WERE ADDED ON TYPE C DRIVEWAY AND ON SECTION D-D.
- REV. 04-01-25: NOTE (L), REFERENCE TO HSAM VOL. 3



SECTION A-A (E)

FOOTNOTES

- (1) SIDE FLARE WIDTH SHOULD BE A MINIMUM 7'-0" FOR COMMERCIAL DRIVEWAYS. SIDE FLARE WIDTH SHOULD BE A MINIMUM 5'-0" FOR RESIDENTIAL DRIVEWAYS.
- (2) DRIVEWAY RAMP GRADE VARIES, 15% MAX. (10% RECOMMENDED) APRON GRADE FOR RESIDENTIAL DRIVEWAYS. 8% MAX. (5% RECOMMENDED) APRON GRADE FOR COMMERCIAL DRIVEWAYS.
- (3) HEIGHT OF LOWERED CURB SHALL BE 2.25 INCHES. SEE STD DWG RP-VC-10 & RP-VC-11.
- (4) THE SLOPE OF THE SIDEWALK AND/OR CURB HEIGHT TRANSITION VARIES TO A MAXIMUM OF 8.33% LENGTH OF TRANSITION IS RELATIVE TO THE LONGITUDINAL ROADWAY GRADE.
- (5) COMMERCIAL DRIVEWAY ENTRANCE TYPICALLY (MAX. 40' WIDE) MAY REQUIRE DETECTABLE WARNING SURFACES IF ENTRANCE SERVES MORE THAN 400 VEHICLES PER DAY. SEE STD. DWG. NOS. MM-CR- SERIES FOR DETAILS.
- (6) 3R PROJECTS MAY REQUIRE SLOPE CORRECTION, PARALLEL CROSS-WALK MARKINGS (ESPECIALLY AT TWO WAY DRIVEWAY ENTRANCES), AND DETECTABLE DOME SURFACE TO MAINTAIN CONTINUITY AT COMMERCIAL DRIVE ENTRANCES. ADDITIONAL SIGNS (WATCH FOR PED) MAY BE ADDED AT DRIVEWAYS BY THE DIRECTION OF AN ENGINEER IF NEEDED.
- (7) SIDE WIDTH SHOULD BE A MINIMUM 7'-0" FOR COMMERCIAL DRIVEWAYS. SIDE WIDTH SHOULD BE A MINIMUM 3'-0" FOR RESIDENTIAL DRIVEWAYS.



SECTION C-C (E)

GENERAL NOTES

- (A) DUE TO THE ELEVATION CHANGE FOR PEDESTRIANS ON THE SIDEWALK, THIS APPLICATION IS UNDESIRABLE AND IS TO BE USED IN LIMITED APPLICATIONS. SEE RP-D-15 FOR THE PREFERRED DRIVEWAY TYPE.
- (B) 5'-0" MINIMUM SIDEWALK WITH A MAXIMUM CROSS SLOPE OF 1.5% THROUGH DRIVEWAYS.
- (C) DESIGNER TO CHECK GUTTER FLOW DEPTH AT DRIVEWAY LOCATIONS TO ASSURE THAT THE DESIGN FLOW DOES NOT OVERTOP THE SIDEWALK AREA. IF OVERTOPPING OCCURS, PLACE AN INLET AT THE UPSTREAM SIDE OF THE DRIVEWAY OR PERFORM OTHER DESIGN MITIGATION
- (D) THE SLOPE OF THE LANDING AREA SHALL NOT EXCEED 1.5% IN THE SIDEWALK AREA.
- (E) DRIVEWAYS TO BE BUILT COMPLETE OR IN PART AS INDICATED ON THE PLANS OR AS DIRECTED BY THE ENGINEER.
- (F) ALL CONCRETE DRIVEWAYS TO BE 6" UNIFORM THICKNESS, UNLESS OTHERWISE SHOWN ON PLANS.
- (G) EXPANSION JOINTS ARE TO BE PLACED AS INDICATED ON THE PLANS. WHEN THE BACK OF THE DRIVEWAY ABUTS AGAINST A CONCRETE DRIVEWAY OR BUILDING, AN ADDITIONAL EXPANSION JOINT WILL BE PLACED AT THAT LOCATION.
- (H) THE ROADWAY DESIGNER SHALL CONSIDER THE USE OF A CATCH BASIN ON EITHER SIDE OF DRIVEWAY. CAREFUL CONSIDERATION TO THE PLACEMENT OF CATCH BASINS SHALL BE TAKEN IF THE DRIVEWAY IS IN A VERTICAL SAG CURVE.
- (I) ALGEBRAIC DIFFERENCE NOT TO EXCEED 10.0%.
- (J) PAY ITEMS:

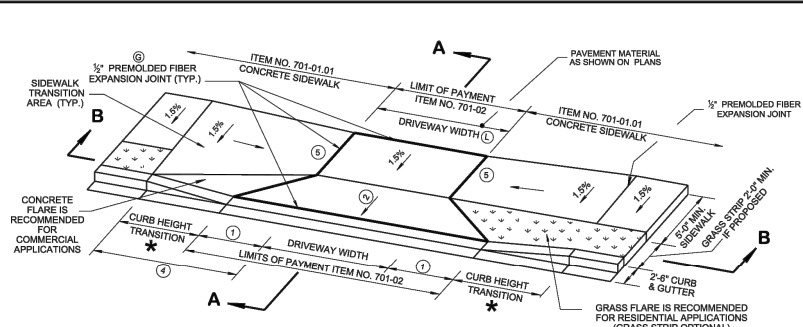
ITEM NO: 303-01,	MINERAL AGGREGATE, TYPE A BASE, GRADING D,	PER TON.
ITEM NO: 701-01.01,	CONCRETE SIDEWALK (4"),	PER S.F.
ITEM NO: 701-02,	CONCRETE DRIVEWAY,	PER S.F.
ITEM NO: 701-02.02,	CONCRETE DRIVEWAY (8"),	PER S.F.
ITEM NO: 702-03,	CONCRETE COMBINED CURB & GUTTER,	PER C.Y.
- (K) WHEN MORE THAN 2 DRIVEWAYS ARE PROPOSED, USE TYPE "A" DRIVEWAY AS SHOWN ON STANDARD DRAWING RP-D-15 TO REDUCE ROLLER COASTER EFFECT FOR PEDESTRIANS.
- (L) TYPICAL DRIVEWAY WIDTHS ARE 12' (4' TWO WAY) FOR RESIDENTIAL AND 24' (40' MAX.) FOR COMMERCIAL. FOR ADDITIONAL TDOT DRIVEWAY REQUIREMENTS SEE "HSAM VOL.3".
- (M) ALL SIDEWALKS SHALL HAVE A MINIMUM CONCRETE THICKNESS OF 4". THE SIDEWALK TRANSITION THICKNESS IS DEPEND ON THE DRIVEWAY AND THE SIDEWALK THICKNESSES, THE COST OF THE SIDEWALK TRANSITION WILL BE INCLUDED IN THE PAY ITEM NO. OF 701-01.01.
- (N) MINIMUM 4" MINERAL AGGREGATE BASE MATERIAL, ITEM NO. 303-01 SHALL BE INSTALLED UNDER NEW CONCRETE DRIVEWAYS. SITE SPECIFIC PAVEMENT DESIGN MAY BE REQUIRED FOR COMMERCIAL DRIVEWAYS USED AS A DELIVERY ACCESS AS WELL. A DRIVEWAY PAVEMENT DESIGN WITH 6" CONCRETE PAVEMENT AND 4" AGGREGATE DEPTH MAY BE LIMITED TO LIGHT COMMERCIAL VEHICULAR TRAFFIC.

APPROVED BY FHWA (ALL OTHERS APPROVED BY TDOT)

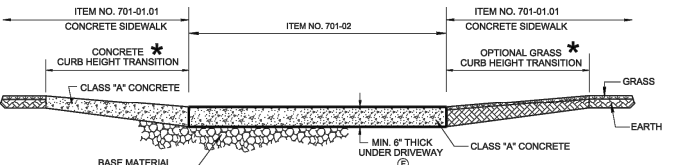


STATE OF TENNESSEE
STANDARD DRAWING
DEPARTMENT OF TRANSPORTATION
DETAILS OF LOWERED STANDARD CONCRETE DRIVEWAYS

04-10-2025 RP-D-16

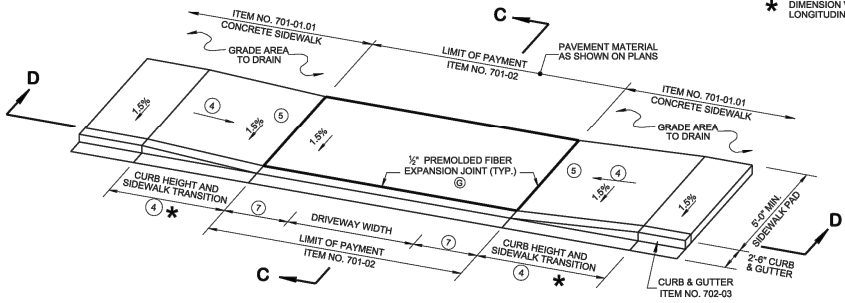


TYPE "B" DRIVEWAY ACROSS LOWERED SIDEWALK (WITH GRASS STRIP)

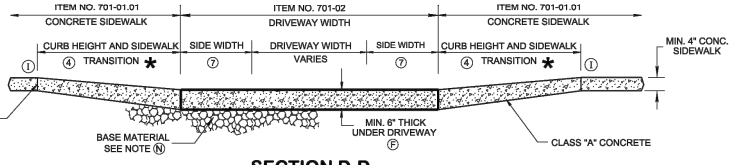


SECTION B-B

LEGEND
* DIMENSION VARIES RELATIVE TO LONGITUDINAL ROADWAY GRADE.



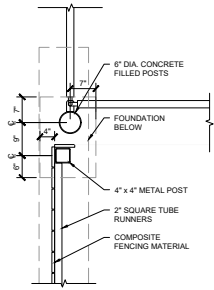
TYPE "C" DRIVEWAY ACROSS LOWERED SIDEWALK



SECTION D-D

NOT TO SCALE

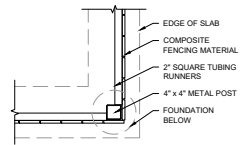
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PLAN DETAIL

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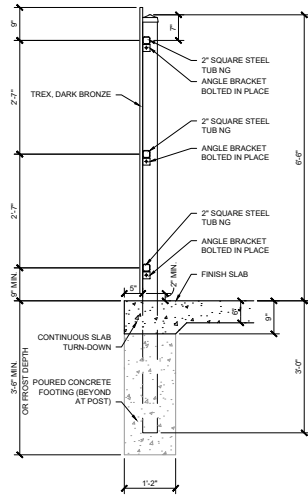
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C-14



PLAN DETAIL

SCALE: 3/4" = 1'-0"

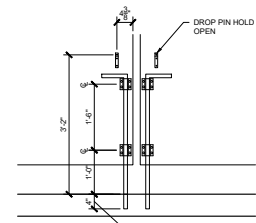
9
C-14



GATE SECTION

SCALE: 3/4" = 1'-0"

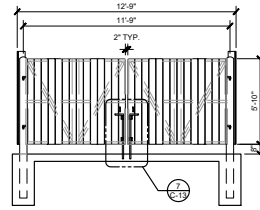
6
C-14



GATE DETAIL

SCALE: 3/4" = 1'-0"

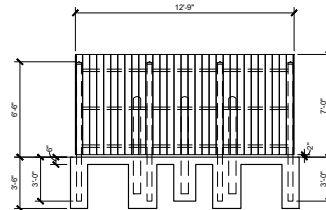
7
C-14



DUMPSTER ENCLOSURE FRONT ELEVATION

SCALE: 1/4" = 1'-0"

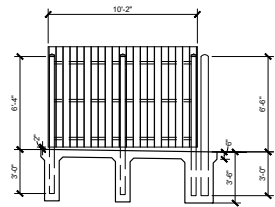
3
C-14



DUMPSTER ENCLOSURE REAR ELEVATION

SCALE: 1/4" = 1'-0"

4
C-14

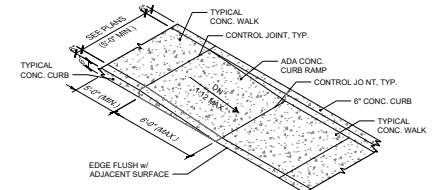


DUMPSTER ENCLOSURE SIDE ELEVATION

SCALE: 1/4" = 1'-0"

5
C-14

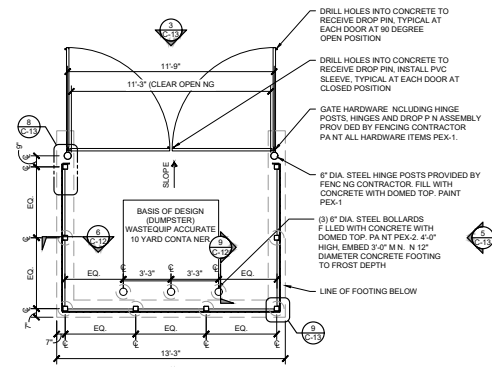
- NOTES
- CURB RAMP SHALL BE CONSTRUCTED PER ADA STANDARDS.
 - CURB RAMP SURFACES SHALL BE CONCRETE w/ HEAVY BROOM FINISH.
 - A 4'0" LONG LANDING SHALL BE PROVIDED AT THE TOP OF CURB RAMP. THE LAND NG SHALL BE LEVEL w/ A 1/4" PER FOOT MAX MIN CROSS SLOPE FOR DRAINAGE. WIDTH SHALL MATCH RAMP WIDTH.
 - REFER TO GRADING PLANS FOR ADJACENT SLOPES. ADDU WING CUTTERS AND ROAD SURFACES AT CURB RAMP BASE SHALL NOT BE STEEPER THAN 1:20 EXCEPT FOR ACCESSIBLE PARKING SPACES OR ACCESSIBLES WHICH SHALL HAVE A SLOPE NOT EXCEEDING 1:48. SURFACE TRANSITIONS SHALL BE FLUSH WITH ONE ANOTHER.



INTERMEDIATE CURB RAMP DETAIL

SCALE: 1/4" = 1'-0"

1
C-14



DUMPSTER ENCLOSURE PLAN

SCALE: 1/4" = 1'-0"

2
C-14

no.	date	rev.	description
1	04-17-26		ADDRESS PLANNING COMMENTS



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checked	JG, BWJ
drawn	BWJ
project no.	202618

SITE LAYOUT DETAILS

C-14

LEGEND

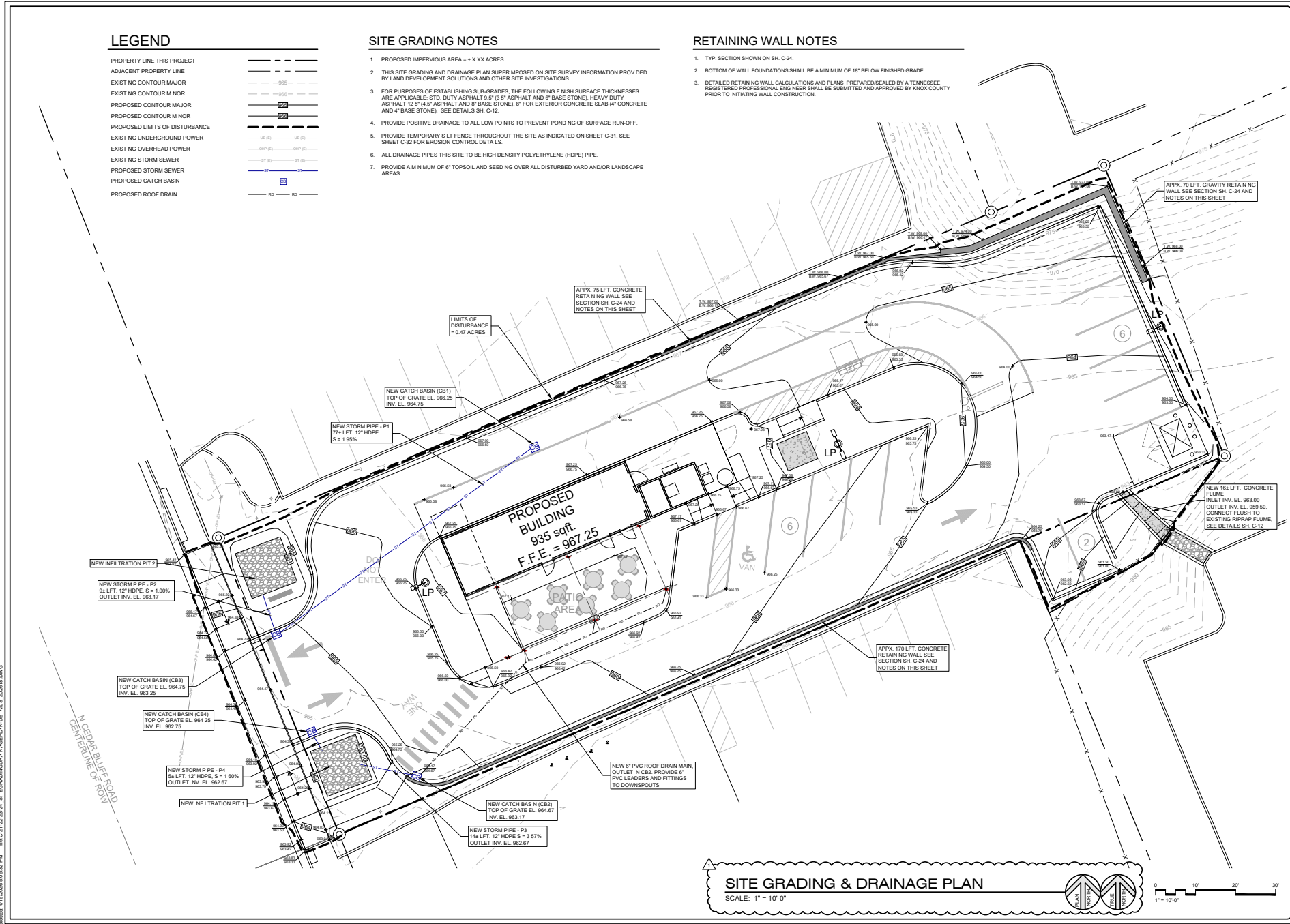
PROPERTY LINE THIS PROJECT	---
ADJACENT PROPERTY LINE	---
EXIST NG CONTOUR MAJOR	---
EXIST NG CONTOUR M NOR	---
PROPOSED CONTOUR MAJOR	---
PROPOSED CONTOUR M NOR	---
PROPOSED LIMITS OF DISTURBANCE	---
EXIST NG UNDERGROUND POWER	---
EXIST NG OVERHEAD POWER	---
EXIST NG STORM SEWER	---
PROPOSED STORM SEWER	---
PROPOSED CATCH BASIN	⊠
PROPOSED ROOF DRAIN	---

SITE GRADING NOTES

1. PROPOSED IMPERVIOUS AREA = 8.3 X.XX ACRES.
2. THIS SITE GRADING AND DRAINAGE PLAN SUPERIMPOSED ON SITE SURVEY INFORMATION PROVIDED BY LAND DEVELOPMENT SOLUTIONS AND OTHER SITE INVESTIGATIONS.
3. FOR PURPOSES OF ESTABLISHING SUB-GRADES, THE FOLLOWING FINISH SURFACE THICKNESSES ARE APPLICABLE: STD. DUTY ASPHALT 1.5" (3.5" ASPHALT AND 6" BASE STONE), HEAVY DUTY ASPHALT 1.25" (4.5" ASPHALT AND 6" BASE STONE), 6" FOR EXTERIOR CONCRETE SLAB (6" CONCRETE AND 6" BASE STONE). SEE DETAILS SH. C-12.
4. PROVIDE POSITIVE DRAINAGE TO ALL LOW POINTS TO PREVENT PONDING OF SURFACE RUN-OFF.
5. PROVIDE TEMPORARY SILT FENCE THROUGHOUT THE SITE AS INDICATED ON SHEET C-31. SEE SHEET C-32 FOR EROSION CONTROL DETAILS.
6. ALL DRAINAGE PIPES THIS SITE TO BE HIGH DENSITY POLYETHYLENE (HDPE) PIPE.
7. PROVIDE A MINIMUM OF 6" TOPSOIL AND SEED NG OVER ALL DISTURBED YARD AND/OR LANDSCAPE AREAS.

RETAINING WALL NOTES

1. TYP. SECTION SHOWN ON SH. C-24.
2. BOTTOM OF WALL FOUNDATIONS SHALL BE A MINIMUM OF 18" BELOW FINISHED GRADE.
3. DETAILED RETAINING WALL CALCULATIONS AND PLANS PREPARED/SEALED BY A TENNESSEE REGISTERED PROFESSIONAL ENGINEER SHALL BE SUBMITTED AND APPROVED BY KNOX COUNTY PRIOR TO INITIATING WALL CONSTRUCTION.



SITE GRADING & DRAINAGE PLAN
SCALE: 1" = 10'-0"

New Location for:
Smalls Sliders
330 N. Cedar Bluff Road
Knoxville, TN

Cain Rash West
Architects
130 Regional Park Dr.
Kingsport, TN 37660
Phn (423) 349-7760
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checked JG. B.W.J.
drawn B.W.J.
project no. 202618

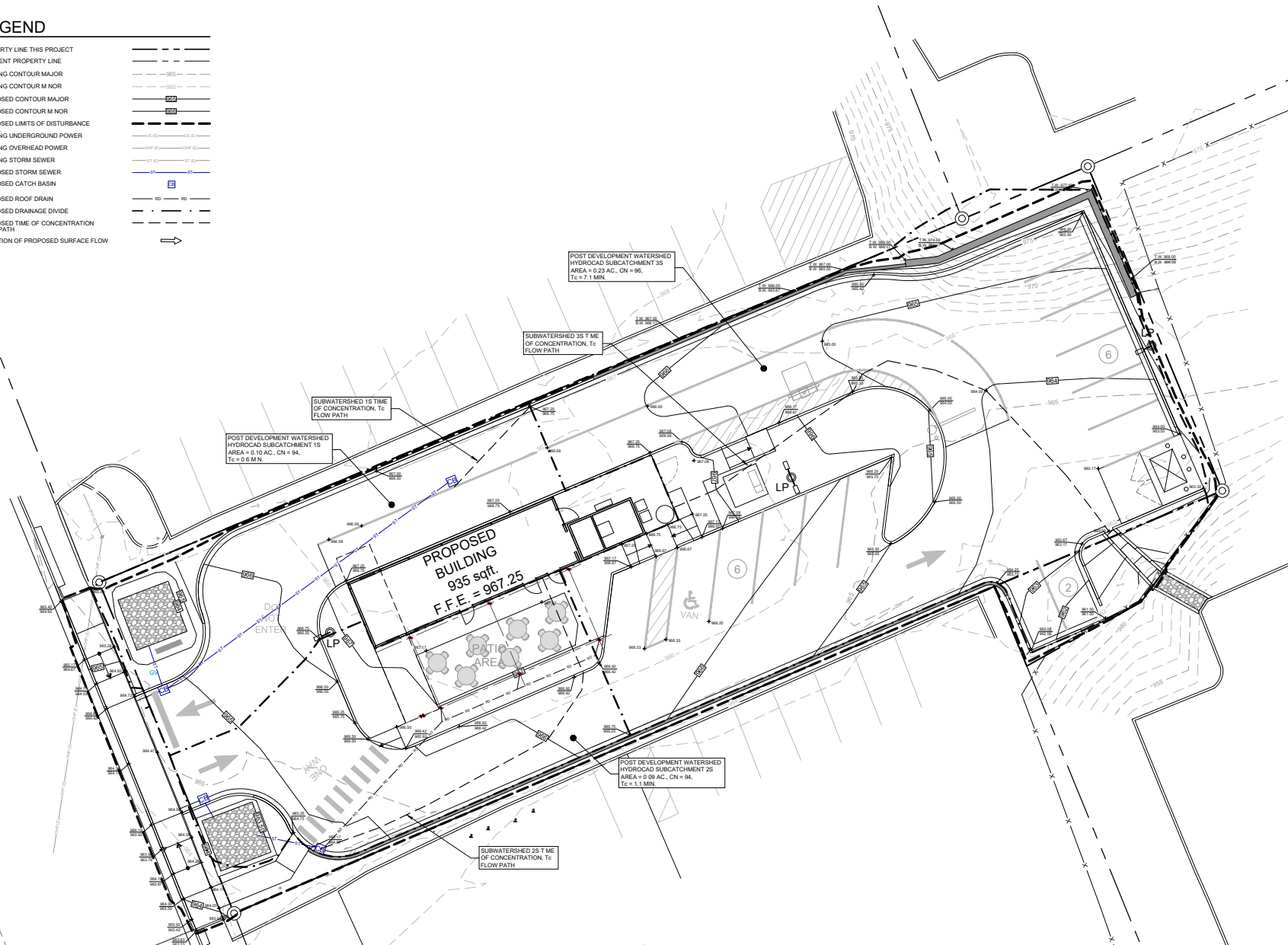
SITE GRADING & DRAINAGE PLAN

C-21

FILENAME: 4/10/2026 6:03:37 PM, 446-C-21-2026-24 - SITE GRADING AND DRAINAGE PLAN DETAIL 5 - 202618.DWG

LEGEND

PROPERTY LINE THIS PROJECT	---
ADJACENT PROPERTY LINE	---
EXISTING CONTOUR MAJOR	--- 5' ---
EXISTING CONTOUR MINOR	--- 1' ---
PROPOSED CONTOUR MAJOR	--- 5' ---
PROPOSED CONTOUR MINOR	--- 1' ---
PROPOSED LIMITS OF DISTURBANCE	---
EXISTING UNDERGROUND POWER	---
EXISTING OVERHEAD POWER	---
EXISTING STORM SEWER	---
PROPOSED STORM SEWER	---
PROPOSED CATCH BASIN	⊠
PROPOSED ROOF DRAIN	---
PROPOSED DRAINAGE DIVIDE	---
PROPOSED TIME OF CONCENTRATION FLOW PATH	---
DIRECTION OF PROPOSED SURFACE FLOW	→



POST-DEVELOPMENT DRAINAGE PATH
SCALE: 1" = 10'-0"

DRAWING NO. 4102021-001-10-PM, REV. C-21, 02-23-24, SITE/GRADING/PAVING/DETAILS, 202416.DWG

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Architects
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POST-DEVELOPMENT DRAINAGE PATH

C-23

LEGEND

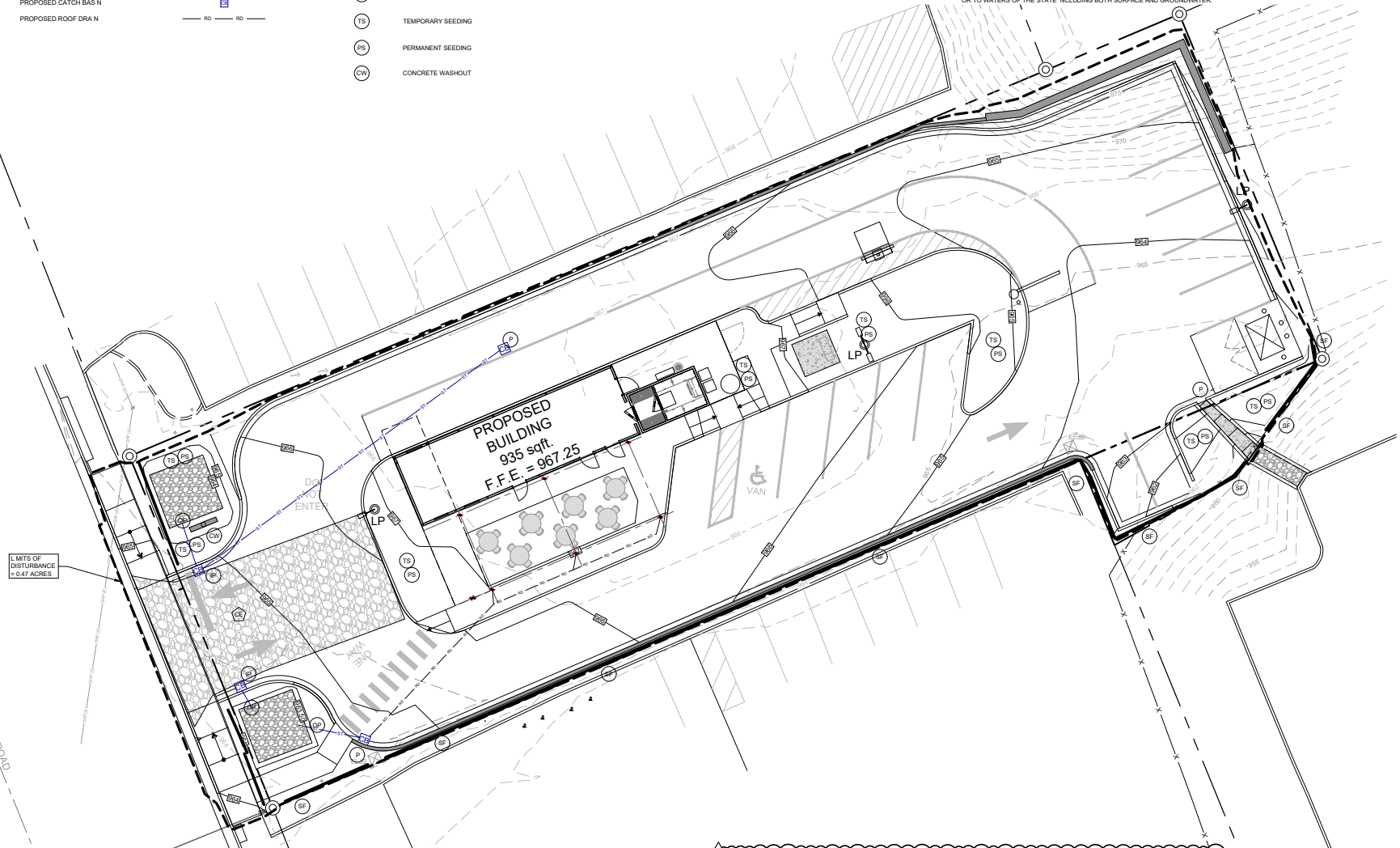
PROPERTY LINE THIS PROJECT	---
ADJACENT PROPERTY LINE	---
EXISTING CONTOUR MAJOR	-985-
EXISTING CONTOUR MINOR	-984-
PROPOSED CONTOUR MAJOR	---985---
PROPOSED CONTOUR MINOR	---984---
EXISTING UNDERGROUND COMMUNICATION	---
EXISTING OVERHEAD POWER	---
EXISTING STORM SEWER	---
PROPOSED STORM SEWER	---
PROPOSED CATCH BASIN	CB
PROPOSED ROOF DRAIN	RD

EROSION CONTROL LEGEND

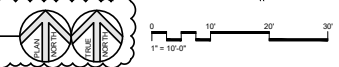
---	LIMITS OF DISTURBANCE
→	DIRECTION OF SURFACE RUNOFF
▣	CONSTRUCTION ENTRANCE/EXIT
⊙ SF	SILT FENCE
⊙ IP	INLET PROTECTION
⊙ OP	OUTLET PROTECTION
⊙ TS	TEMPORARY SEEDING
⊙ PS	PERMANENT SEEDING
⊙ CW	CONCRETE WASHOUT

SMALL LOT EROSION CONTROL PLAN

- PROPERTY ADDRESS:
330 NORTH CEDAR BLUFF ROAD
KNOXVILLE, TN 37932
- PROPERTY OWNER:
MIGHTY FINANCIAL, LLC
2225 LOVELL ROAD
KNOXVILLE, TN 37932
- APPROPRIATE PERMITS TO BE OBTAINED AFTER PRE-CONSTRUCTION MEETING IS HELD.
- TEN MILE CREEK IS APPROX. 0.80 MILE TO THE EAST OF THE PROPERTY.
- EROSION PREVENTION & SEDIMENT CONTROLS FOR THIS SITE INCLUDE:
 - A CONSTRUCTION EXIT.
 - INLET AND OUTLET PROTECTION AS NEW STORM PIPING IS INSTALLED.
 - STRAW SEEDING AROUND PER METER NEW PARKING AREA AND OTHER DISTURBED AREAS.
- LIMITS OF DISTURBANCE = 0.46 ACRES.
- SILT FENCE IS PROPOSED AS SHOWN ON THIS SHEET AND IS TO BE ADJUSTED AS GRADING / SITE DEVELOPMENT PROGRESSES.
- THE CONSTRUCTION EXIT IS PROPOSED AT THE NEW ENTRANCE ONTO N. CEDAR BLUFF ROAD.
- ROOF DRAINAGE WILL BE COLLECTED INTO ROOF DRAIN LEADERS AND MANHOLE, THEN DISCHARGE INTO THE NEW STORMWATER CATCH BASIN.
- READY-MIX CONCRETE TRUCKS SHALL WASH OUT THE RESIDUE IN A DESIGNATED WASH PIT NEAR THE CONSTRUCTION EXIT. THIS WASH PIT IS TO TRAP THE CONCRETE AND ITS WASH. THE CONTRACTOR SHALL MAINTAIN THIS PIT(S) AS NECESSARY TO ALWAYS HAVE AT LEAST 50% VOLUME. ANY MATERIAL REMOVED FROM THE WASH PIT SHALL BE USED FOR FILL MATERIAL ON-SITE OR DISPOSED OF IN ACCORDANCE WITH ALL STATE AND FEDERAL REGULATIONS. WASH FROM THE CONCRETE TRUCKS AND ANY OVERFLOW FROM THE WASH PIT SHALL NOT BE ALLOWED TO DISCHARGE TO A SEDIMENT BASIN, TRAP, POND, STORM DRAIN, DITCH, STREAM, OTHER STORMWATER CONVEYANCE, OR TO WATERS OF THE STATE, INCLUDING BOTH SURFACE AND GROUNDWATER.



EROSION CONTROL PLAN
SCALE: 1" = 10'-0"



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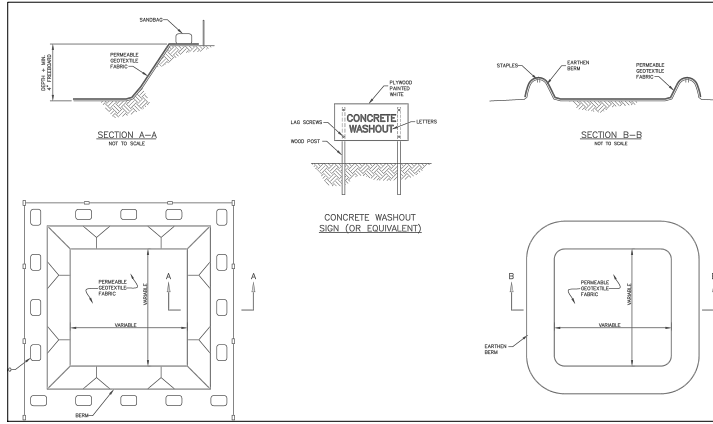
issued 04-13-2026
checked J.G. BWJ
drawn BWJ
project no. 202618

EROSION CONTROL PLAN

C-31

DRAWING # 410202618/0415/26 PM, FILE # C-31-26, EROSION CONTROL PLAN DETAILS, 202618.DWG

DRAWING NO. C-32, EROSION CONTROL PLAN DETAILS, 202618.DWG
 DATE: 04/12/2026 11:49:03 AM
 USER: C-32, EROSION CONTROL PLAN DETAILS, 202618.DWG



CONCRETE WASHOUT
SCALE: N.T.S.

CW

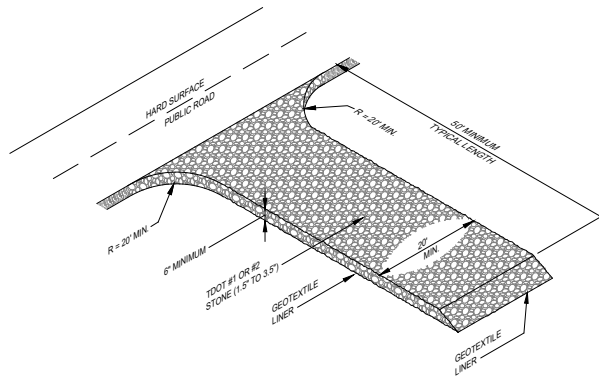
NOTES:
1. PROVIDE 18" DIA. CULVERT FOR ANY REQUIRED CONSTRUCTION CROSSINGS.

PERMANENT COVER SEEDING MIXTURES		
SEEDING DATES	GRASS SEED	PERCENTAGES
FEBRUARY 1 TO JULY 1	KENTUCKY 31 FESCUE	90%
	KOREAN LESPEDEZA	10%
	ENGLISH RYE	5%
JUNE 1 TO AUGUST 15	KENTUCKY 31 FESCUE	50%
	ENGLISH RYE	20%
	KOREAN LESPEDEZA	15%
APRIL 15 TO AUGUST 15	GERMAN MILLET	100%
	BERMUDA GRASS (HILLED)	100%
AUGUST 1 TO DECEMBER 1	ANNUAL LESPEDEZA	30%
	KENTUCKY 31 FESCUE	70%
FEBRUARY 1 TO DECEMBER 1	ENGLISH RYE	20%
	WHITE CLOVER	10%
	KENTUCKY 31 FESCUE	70%
	CROWN VETCH	20%
	ENGLISH RYE	5%

NOTE: FOR SEED PREPARATION, MULCHING, AND FERTILIZING REFER TO THE TENNESSEE EROSION AND SEDIMENT CONTROL HANDBOOK, LATEST EDITION.

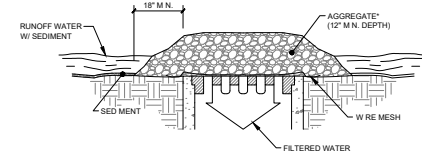
TEMPORARY COVER SEEDING MIXTURES		
SEEDING DATES	GRASS SEED	PERCENTAGES
JANUARY 1 TO MAY 1	ITALIAN RYE	33%
	KOREAN LESPEDEZA	33%
	SUMMER GATS	34%
MAY 1 TO JULY 15	SADON BROMGRASS	100%
	RYE MILLET	100%
JULY 15 TO JANUARY 1	BALDO RYE	67%
	ITALIAN RYE	33%

NOTE: FOR SEED PREPARATION, MULCHING, AND FERTILIZING REFER TO THE TENNESSEE EROSION AND SEDIMENT CONTROL HANDBOOK, LATEST EDITION.



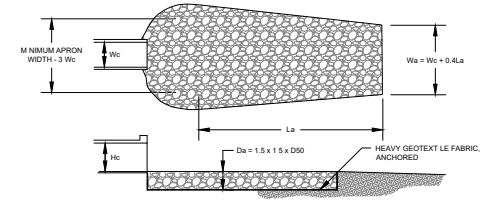
TEMPORARY GRAVEL CONSTRUCTION ENTRANCE / EXIT
SCALE: N.T.S.

CE



GRAVEL INLET PROTECTION
SCALE: N.T.S.

IP

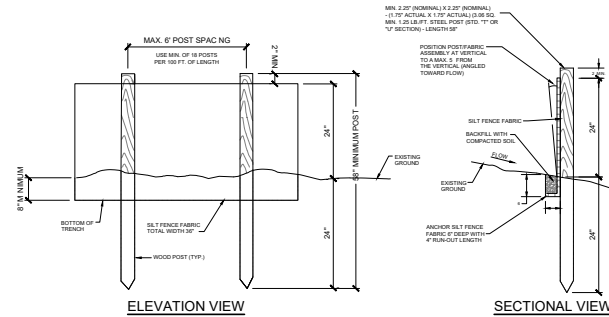


TAILWATER > 0.5 Hc AND ASSUMING FULL CULVERT FLOW (1" HIGH TAILWATER CONDITIONS)

Hc = HEIGHT OF CULVERT
 Wc = WIDTH OF CULVERT
 La = LENGTH OF RIPRAP APRON
 Wa = WIDTH OF RIPRAP APRON AT END
 D50 = MEDIAN RIPRAP SIZE
 Dmax = MAXIMUM SIZE OF RIPRAP = 1.5 D50
 Da = DEPTH OF RIPRAP APRON = 1.5 Dmax

RIPRAP OUTLET PROTECTION
SCALE: N.T.S.

OP



ELEVATION VIEW

SECTIONAL VIEW

SILT FENCE
SCALE: N.T.S.

SF



New Location for:
Smalls Sliders
 330 N. Cedar Bluff Road
 Knoxville, TN



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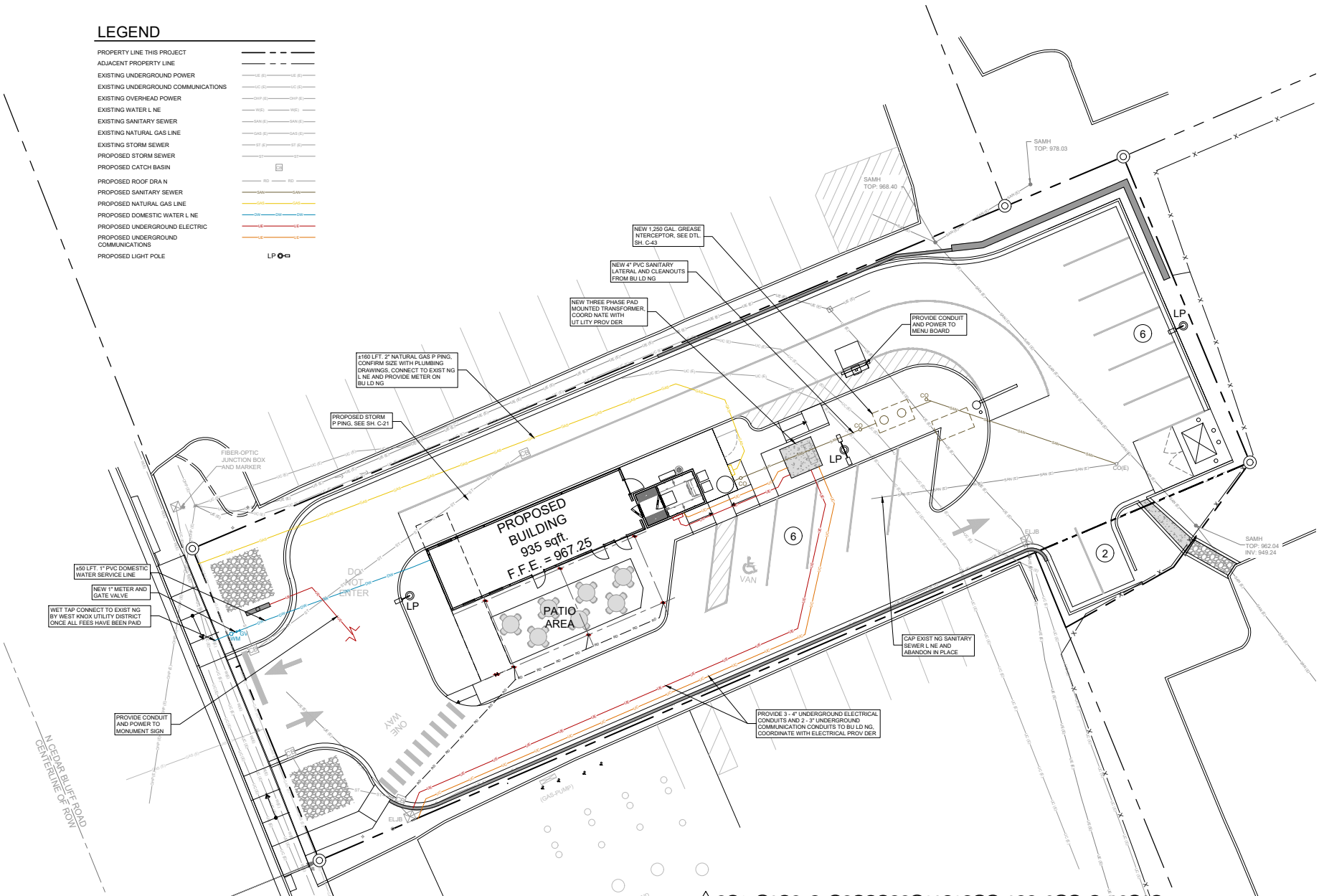
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 drawn BWJ
 project no. 202618

EROSION CONTROL DETAILS

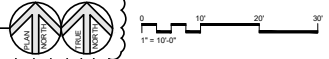
C-32

LEGEND

PROPERTY LINE THIS PROJECT	---
ADJACENT PROPERTY LINE	- - - -
EXISTING UNDERGROUND POWER	—(6.0)—(6.0)—
EXISTING UNDERGROUND COMMUNICATIONS	—(6.0)—(6.0)—
EXISTING OVERHEAD POWER	—(04F.0)—(04F.0)—
EXISTING WATER LINE	—(06.0)—(06.0)—
EXISTING SANITARY SEWER	—(04S.0)—(04S.0)—
EXISTING NATURAL GAS LINE	—(04G.0)—(04G.0)—
EXISTING STORM SEWER	—(07.0)—(07.0)—
PROPOSED STORM SEWER	—(07.0)—(07.0)—
PROPOSED CATCH BASIN	☐
PROPOSED ROOF DRAIN	—(R0.0)—(R0.0)—
PROPOSED SANITARY SEWER	—(04S.0)—(04S.0)—
PROPOSED NATURAL GAS LINE	—(04G.0)—(04G.0)—
PROPOSED DOMESTIC WATER LINE	—(06.0)—(06.0)—
PROPOSED UNDERGROUND ELECTRIC	—(E0.0)—(E0.0)—
PROPOSED UNDERGROUND COMMUNICATIONS	—(C0.0)—(C0.0)—
PROPOSED LIGHT POLE	LP ○



SITE UTILITIES PLAN
SCALE: 1" = 10'-0"



DRAWING NO. 202618-01, DATE: 04-13-2026, PROJECT: 202618, SHEET: SITE UTILITIES PLAN, SCALE: 1" = 10'-0"

New Location for:
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 330 N. Cedar Bluff Road
 Knoxville, TN

Cain Rash West
 Architects

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drawn	B.W.J.
project no.	202618

SITE UTILITIES PLAN

C-41

BACKFILL FOR FLEXIBLE PIPE

BACKFILL FOR RIGID PIPE

NOTES:

- TRENCH DESIGN AND SAFETY FOR PIPELINE CONSTRUCTION IS SOLELY THE RESPONSIBILITY OF THE CONTRACTOR AND SHALL CONFORM WITH ALL APPLICABLE LOCAL, STATE, AND OSMA REGULATIONS.
- BEDDING MATERIAL AND BACKFILL MATERIAL UP TO THE SPRINGLINE SHALL BE #57 OR #67 STONE.
- REGARDLESS OF BACKFILL MATERIAL OR PIPE MATERIAL, PLACE BACKFILL IN 8" LOOSE LIFTS AND COMPACT STONE TO 100% OF THE STANDARD PROCTOR DENSITY AT 2" LESS THAN THE OPTIMUM MOISTURE CONTENT AS DETERMINED BY ASTM D 1557 METHOD D. INITIAL BACKFILL SHALL BE #57 OR #67 STONE.
- FINAL BACKFILL SHALL BE #57 OR #67 STONE UNDER PAVEMENTS & WITHIN 3' OF PAVEMENT.
- FINAL BACKFILL BEYOND 3' OF PAVEMENT SHALL BE STRUCTURAL SOIL BACKFILL.

2328 LOVELL ROAD
KNOXVILLE, TN 37932
TELEPHONE 865.690.2521

APPROVED BY: WKUD DRAWN BY: ARDURRA SCALE: NTS DATE: 04/22/24 DRAWING NUMBER: G3

PIPE BEDDING AND BACKFILL

2 WAY CLEANOUT DETAIL

NOTES:

- TRAFFIC RATED CLEANOUTS ARE REQUIRED FOR CLEANOUTS LOCATED WITHIN PAVEMENT, ROADWAYS, DRIVEWAYS OR ANY OTHER AREAS DEEMED NECESSARY BY THE OWNER OR OWNER'S REPRESENTATIVE.
- PROVIDE CONCRETE APRON AROUND CLEANOUT AS SHOWN IN GRAVEL AREAS ONLY.
- PROVIDE PLASTIC UTILITY BOX WITH LID MARKED "SEWER" FOR CLEANOUTS IN GRASS AREAS. UTILITY BOX SHALL BE MODEL DPW1300.12.4E AS MANUFACTURED BY "DWF PLASTICS, INC." OR APPROVED EQUAL.

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SANITARY SEWER SERVICE CONNECTION

NOTES:

- THE PURPOSE OF THE ADDITIONAL 4-INCH CLEANOUT IS FOR THE HOME BUILDER'S ABILITY TO EASILY FIND AND GAIN ACCESS TO THE SERVICE LATERAL. IT IS INTENDED THAT THE HOME BUILDER SHALL REMOVE THE GASHED PORTION OF THE 4-INCH SERVICE PIPE AND CONNECT THE BUILDING SEWER AT THE LOCATION OF THE LOWER 45° BEND.
- 45° BEND ALLOWED FOR SEWER MAINS THAT ARE 6- FEET DEEP OR GREATER. SANITARY SERVICE LINES CONNECTING TO SEWER MAINS THAT ARE LESS THAN 6- FEET DEEP SHALL BE INSTALLED WITHOUT VERTICAL BENDS AT A 1.00% (MINIMUM) SLOPE.

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Transformer Size (KVA)	75	150	225	300	500	750	1000	1500	2500
Pad Thickness	9"	9"	9"	9"	12"	12"	12"	12"	12"

All pads are to be poured with 6" above grade and 3" or 6" below grade depending on the size of pad required. All pads are required to be reinforced by 4" x 4" wire mesh or comparable material.

TRANSFORMER PAD
N.T.S.

SIZE	90° BENDS			45° BENDS			22 1/2° BENDS			11 1/4° BENDS			SIZE			
PIPE (INCHES)	H ₁	H ₂	V	H ₁	H ₂	V	H ₁	H ₂	V	H ₁	H ₂	V	PIPE			
2&2-1/4	18	10	12	18	19	18	8	12	10	13	18	6	12	18	1.5	2&2-1/4
3	8	4	12	12	18	18	8	12	10	16	18	6	12	18	1.6	3
6	30	18	18	10	4.1	24	10	16	18	3.2	24	10	16	18	3.2	6
8	38	18	24	18	7.3	30	11	16	18	4.0	24	11	18	18	3.4	8
10	54	32	24	18	10.3	24	18	21	18	4.6	24	18	21	18	4.6	10
12	54	32	36	24	18.0	48	18	24	34	9.0	24	18	24	24	5.0	12

THRUST BLOCK AND ANCHOR BLOCK FOR BENDS

NOTES:

- THRUST BLOCKING BASED UPON AN INTERNAL HYDROSTATIC PRESSURE OF 200 PSI AND AN ALLOWABLE SOIL BEARING CAPACITY OF 4000 POUNDS/SQUARE FOOT. SHOULD HYDROSTATIC PRESSURE BE GREATER AND/OR SOIL BEARING CAPACITY SHOULD BE LESS THAN THAT NOTED ABOVE, CONTRACTOR SHALL INCREASE SIZE AS REQUIRED AND PROVIDE CALCULATIONS TO SUPPORT SAID MODIFICATION.
- WKUD SHALL APPROVE ALL THRUST BLOCKS.
- WRAP ALL FITTINGS AND PIPE IN PLASTIC PRIOR TO PLACING CONCRETE.

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APPROVED BY: WKUD DRAWN BY: ARDURRA SCALE: NTS DATE: 04/22/24 DRAWING NUMBER: W6.2

TYPICAL 3/4" METER SETTING DETAIL

NOTES:

- CONTRACTOR TO COORDINATE FIELD LOCATION OF PROPOSED WATER METERS WITH WKUD.
- CONTRACTOR RESPONSIBLE FOR RE-CONNECTING TO EXISTING WATER SERVICE LINE.
- USE ROLLED COPPER FOR SERVICE LINE DIRECTION CHANGES (NO FITTINGS FOR BENDS).

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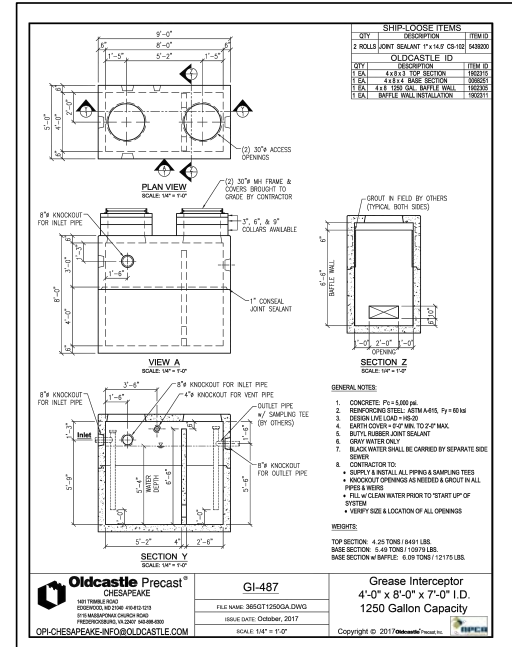
no.	date	rev.	description



issued 04-13-2026
checked JG, BWJ
drawn BWJ
project no. 202618

SITE UTILITIES
DETAILS

C-42



GREASE INTERCEPTOR - 1,250 GAL. (OR EQUIVALENT)
SCALE: N.T.S.

Smalls
 Sliders
 330 N. Cedar Bluff Road
 Crossville, TN

Cain Rash West
 Architects
 130 Regional Park Dr.
 Kingsport, TN 37660
 Phn (423) 349-7760
 Fax (423) 349-7413
 www.grcinc.com

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project no.	202618

GREASE INTERCEPTOR DETAILS

C-43

LANDSCAPE LEGEND

SEE ALSO SITE LAYOUT FOR ADDITIONAL LEGEND ENTRIES NOT SHOWN THIS SHEET

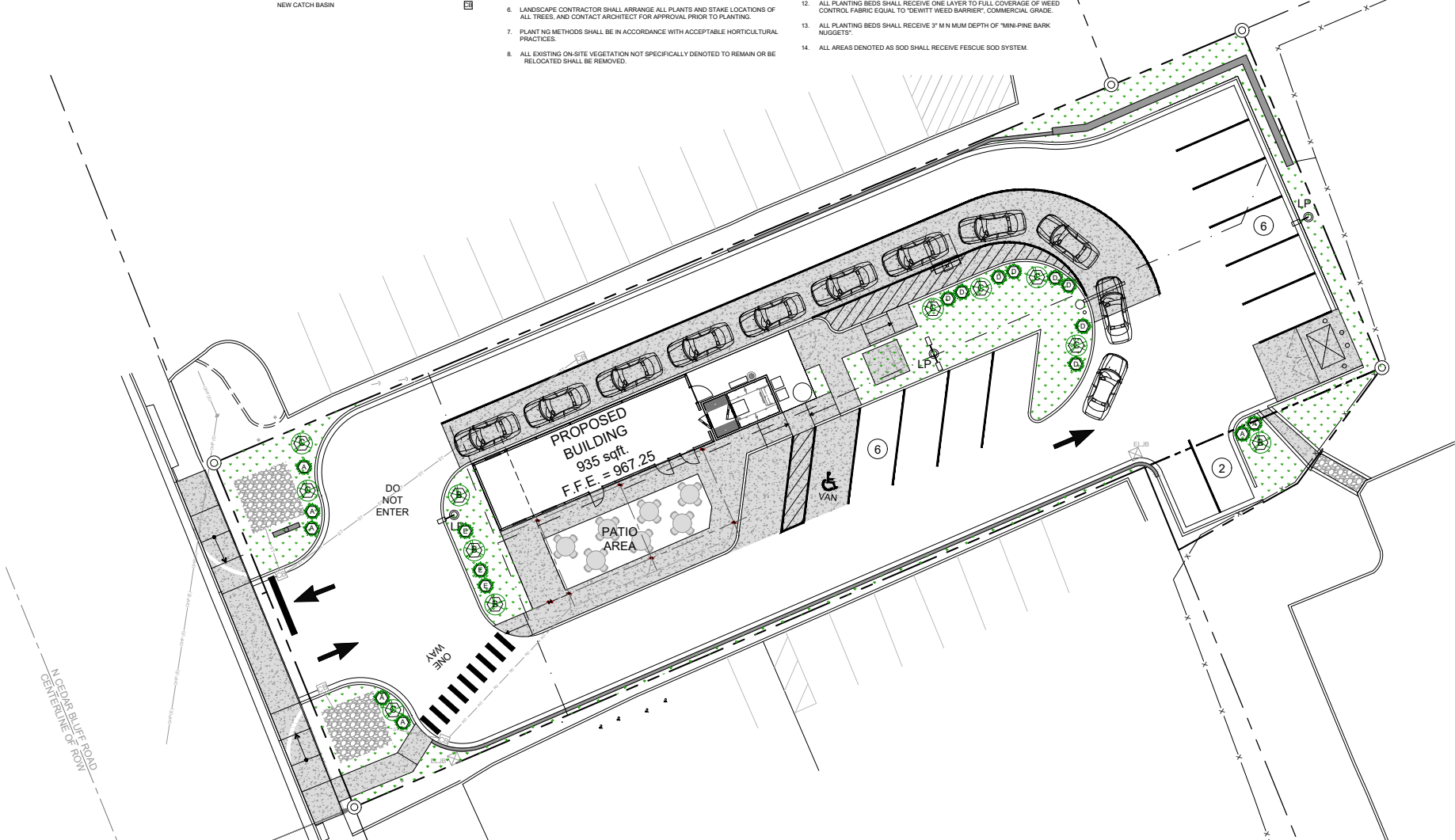
PROPERTY LINE (THIS PROJECT)		NEW SHRUB / TREE	
PROPERTY LINE (OTHER)		NEW SHRUB / TREE DESIGNATION / QUANTITY	
NEW SIDEWALK		TEMPORARY BENCH MARK	
NEW LANDSCAPE BED		EXISTING LIGHT/UTILITY POLE	
NEW GRASS AREA		NEW LIGHT POLE	
NEW SHRUB		EXISTING CATCH BASIN	
		NEW CATCH BASIN	

LANDSCAPE NOTES

- SEE SITE LAYOUT FOR SETBACKS, EASEMENTS, ZONING, AND LAND USE.
- SEE SHEET C-11 FOR ALL PAVED AREAS. NEW AND EXISTING PAVED AREAS MAY NOT BE DELINEATED FROM ONE ANOTHER ON THIS SHEET.
- ALL AREA INSIDE CURB LINE OF ADJACENT CITY STREETS WHICH HAVE BEEN DISTURBED BY CONSTRUCTION (AND NOT DELINEATED TO RECEIVE PLANTING BED) SHALL BE SEEDED.
- NO PLANTING MATERIAL SHALL BE SUBSTITUTED WITHOUT ARCHITECT'S PRIOR WRITTEN CONSENT.
- UNLESS NOTED OTHERWISE, ALL PLANTING BEDS SHALL BE MOUNTED 6" ABOVE TOP OF ADJACENT CURB OR WALK.
- LANDSCAPE CONTRACTOR SHALL ARRANGE ALL PLANTS AND STAKE LOCATIONS OF ALL TREES, AND CONTACT ARCHITECT FOR APPROVAL PRIOR TO PLANTING.
- PLANTING METHODS SHALL BE IN ACCORDANCE WITH ACCEPTABLE HORTICULTURAL PRACTICES.
- ALL EXISTING ON-SITE VEGETATION NOT SPECIFICALLY DENOTED TO REMAIN OR BE RELOCATED SHALL BE REMOVED.
- IN LOCATIONS WHERE MULCHED PLANTING BEDS ADJUT GRASSY AREAS, EDGE OF BED SHALL RECEIVE 1/8" x 4" ALUMINUM (MILL FINISH) EDGING EQUAL TO "PERMALOC" OR "TYERSON STEEL". INSTALL PER MANUFACTURERS RECOMMENDATIONS, WITH TOP OF EDGING MAXIMUM 1" ABOVE EARTH.
- ALL NEW PLANTING MATERIAL SHALL BE FERT LOEDED WITH "STA-GREEN NURSERY SPECIAL" OR ARCHITECT APPROVED FERTILIZER. IN DOSEAGE SUGGESTED BY MANUFACTURER. ALL NEW AND EXISTING TREES SHALL ADDITIONALLY RECEIVE ONE-YEAR FERTILIZER CAPSULES BY SAME MANUFACTURER IN RECOMMENDED DOSEAGE.
- ALL MATERIAL TO BE REMOVED BY CONTRACTOR SHALL BE DISPOSED IN ACCORDANCE WITH ALL APPLICABLE CODES AND ORDINANCES.
- ALL PLANTING BEDS SHALL RECEIVE ONE LAYER TO FULL COVERAGE OF WEED CONTROL FABRIC EQUAL TO "DEWITT WEED BARRIER", COMMERCIAL GRADE.
- ALL PLANTING BEDS SHALL RECEIVE 3" MINIMUM DEPTH OF "MINI-PINE BARK NUGGETS".
- ALL AREAS DENOTED AS SOD SHALL RECEIVE FESCUE SOD SYSTEM.

PLANTING SCHEDULE

KEY	COMMON NAME	BOTANICAL NAME	QTY	SIZE
1	MULCHY GRASS	MULLENBERGIA CAPILLARIS	7	3 GAL.
2	FLOWERING CHERRY	PRUNUS SERULATA	4	2" CAL.
3	DWARF YAPON HOLLY	ILEX VOMITORIA NANA	7	3 GAL.
4	VARIEGATED HONEY GRASS	PRUNUS LAUROCAPRIBUS NANA	8	3 GAL.
5	DWARF ENGLISH LAUREL	URSPOE SPICATA	5	3 GAL.



LANDSCAPE PLAN
SCALE: 1" = 10'-0"

New Location for:
Smalls Sliders
330 N. Cedar Bluff Road
Knoxville, TN

Cain Rash West
Architects
130 Regional Park Dr.
Kingsport, TN 37660
Phn (423) 349-7760
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1	04-17-26		ADDRESS PLANNING COMMENTS



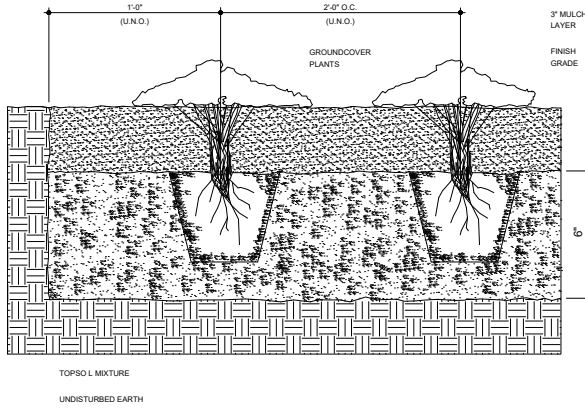
issued	04-13-2026
checked	JG, BWJ
drawn	BWJ
project no.	202618

LANDSCAPE PLAN

L-11

DRAWING # 410202618.001.001.DWG - REV. 11-17-25 LANDSCAPE PLAN DETAILS - 202618.DWG

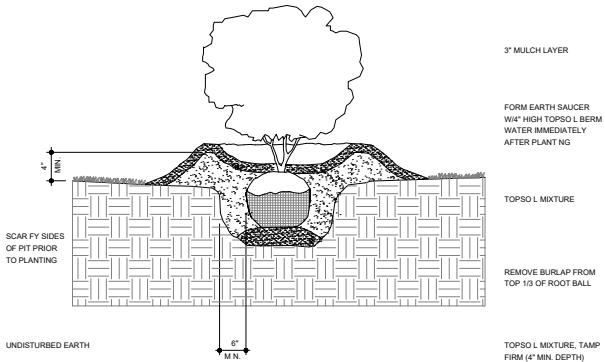
SEE GENERAL NOTES AND NOTES ON TREE PLANTING FOR ADDITIONAL INFORMATION.



GROUND COVER PLANTING
NOT TO SCALE

6
L-12

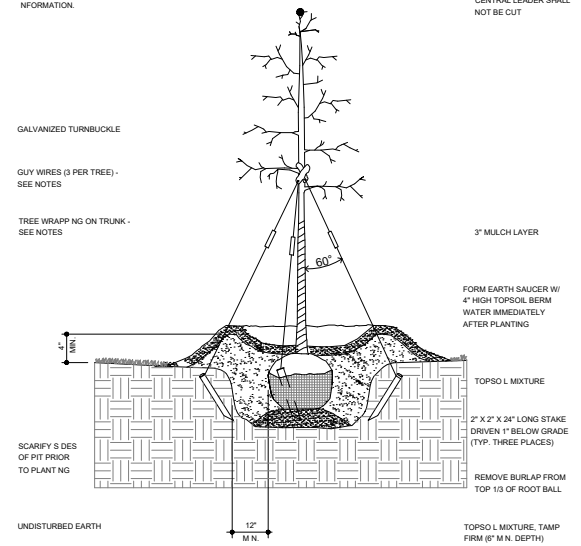
SEE GENERAL NOTES AND NOTES ON TREE PLANTING FOR ADDITIONAL INFORMATION.



SHRUB PLANTING
NOT TO SCALE

5
L-12

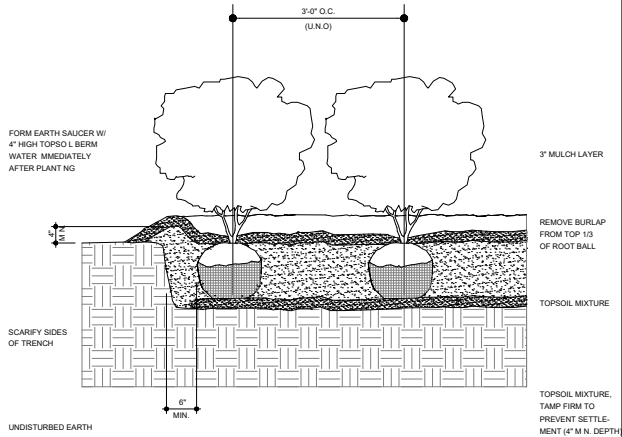
SEE GENERAL NOTES AND NOTES ON TREE PLANTING FOR ADDITIONAL INFORMATION.



PLANTING FOR TREES OVER TO 3" CALIPER
NOT TO SCALE

4
L-12

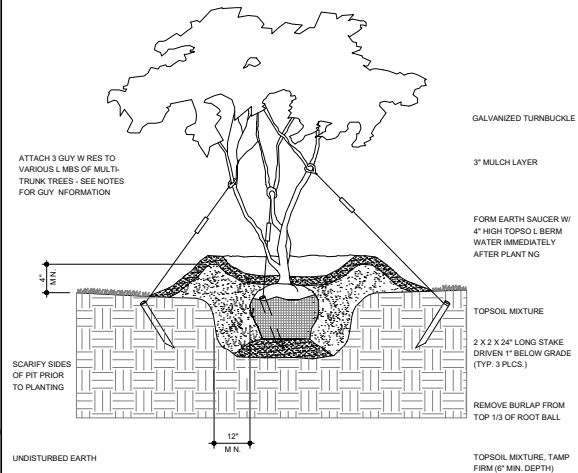
SEE GENERAL NOTES AND NOTES ON TREE PLANTING FOR ADDITIONAL INFORMATION.



TRENCH PLANTING FOR SHRUBS
NOT TO SCALE

3
L-12

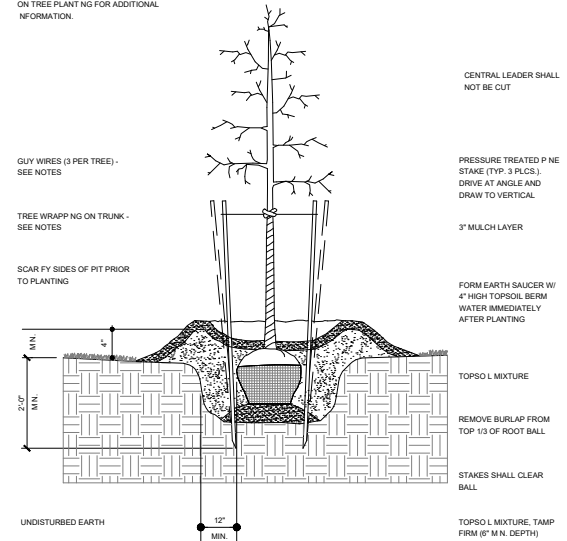
SEE GENERAL NOTES AND NOTES ON TREE PLANTING FOR ADDITIONAL INFORMATION.



MULTI-TRUNKED TREE PLANTING
NOT TO SCALE

2
L-12

SEE GENERAL NOTES AND NOTES ON TREE PLANTING FOR ADDITIONAL INFORMATION.



PLANTING FOR TREES UP TO 3" CALIPER
NOT TO SCALE

1
L-12



New Location for:
Smalls Sliders
330 N. Cedar Bluff Road
Knoxville, TN



130 Regional Park Dr.
Kingsport, TN 37660
Phn (423) 349-7760
Fax (423) 349-7413
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project no. 202618

LANDSCAPE
DETAILS

L-12

DATE: 4/10/2024 11:52:01 AM FILE: L-12 LANDSCAPE DETAILS 202618.DWG

1/26/2026 3:25:37 PM Rev A-11-2_ARCH LAYOUTS AND DETAILS 2026.DWG

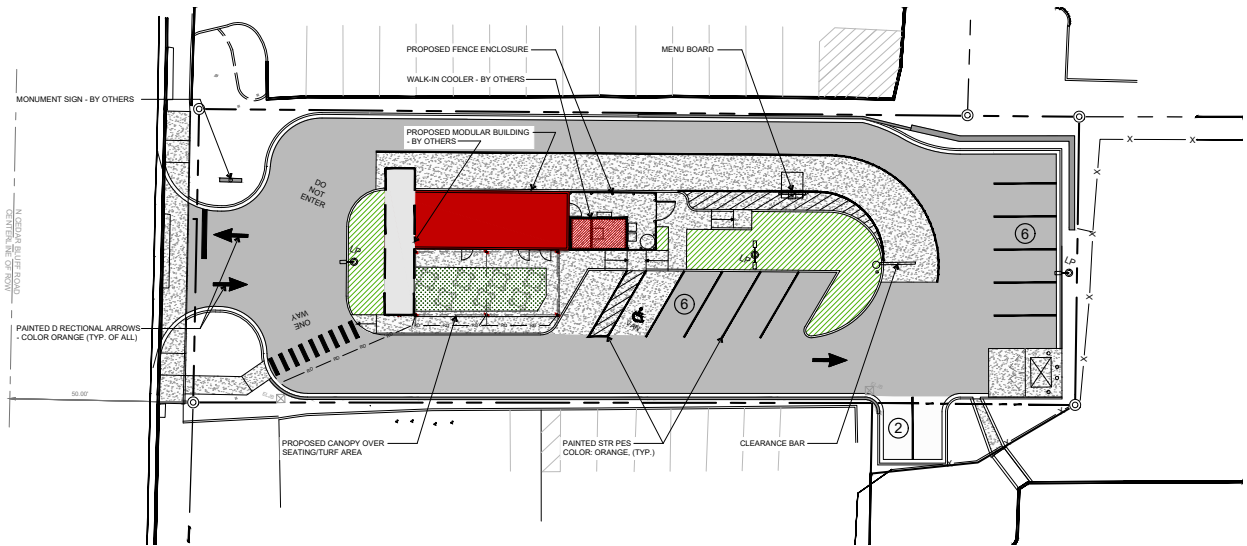
LEGEND

- PROPERTY LINE (THIS PROJECT)
- PROPERTY LINE (OTHER)
- SETBACK / EASEMENT
- BUILDING COLUMN LINE (FOR REFERENCE)
- PROPOSED ADDITION
- NEW SIDEWALK
- NEW ASPHALT PAVEMENT
- NEW LANDSCAPING / MULCH AREA
- NEW GRASS AREA

- NUMBER OF PARKING SPACES IN A GROUP
- SPOT ELEVATION
- CATCH BASIN
- POWER POLE
- LIGHT POLE

GENERAL SITE NOTES

1. THE SITE PLAN INFORMATION CONTAINED ON THIS SHEET IS PROVIDED FOR REFERENCE ONLY. REFER TO CIVIL DRAWINGS FOR DETAILED SITE INFORMATION.
2. REFER TO CIVIL DRAWINGS FOR GRADING, BUILDING LOCATION, PARKING AND LOCATION OF ALL UTILITIES.
3. THIS IS NOT A SURVEY. REFER TO THE PLATTED SURVEY FOR ACCURACY.
4. NO SIGNAGE IS INCLUDED IN THIS PACKAGE. THE SIGNAGE SHOWN FOR REFERENCE ONLY. ALL SIGNAGE MUST BE PERMITTED SEPARATELY.
5. REFERENCE SHEET G-01 FOR GENERAL NOTES AND CONDITIONS AFFECTING THIS WORK.
6. AFTER FINAL GRADING AND PRIOR TO CONSTRUCTION, PRE-TREAT SOIL UNDER NEW CONSTRUCTION FOR WOOD DESTROYING ORGANISMS PER BC 1816.
7. LANDSCAPING WILL BE INSPECTED BY LOCAL AUTHORITIES PRIOR TO THE ISSUANCE OF OCCUPANCY. REFERENCE LANDSCAPING PLANS FOR LANDSCAPING, HARDSCAPING, AND IRRIGATION REQUIREMENTS.



ARCHITECTURAL SITE PLAN

SCALE: 1/16" = 1'-0"



0 8' 16' 32' 48'
1/16" = 1'-0"

Smalls
 Sliders

330 N. Cedar Bluff Road
 Knoxville, TN

**Cain
Rash
West**
 Architects

130 Regional Park Dr.
 Kingsport, TN 37660
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issued TBD
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 drawn CDR
 project no. 202618

EXTERIOR
 BUILDING FLOOR
 PLANS

A-11



New Location for:
Smalls Sliders
 330 N. Cedar Bluff Road
 Knoxville, TN



130 Regional Park Dr.
 Kingsport, TN 37660
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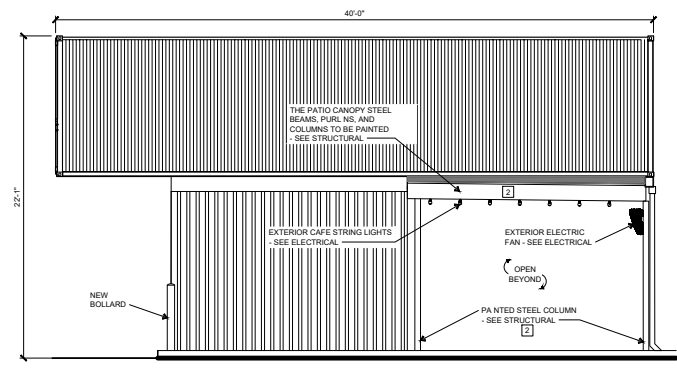
PROGRESS PRINT
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 checked CDR
 drawn CDR
 project no. 202618

CANOPY ELEVATIONS

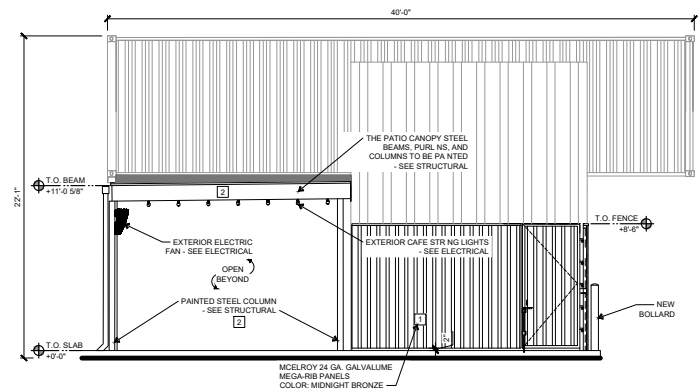
A-21

MARK	DESCRIPTION	COLOR	DESCRIPTION
□	METAL SIDING	MIDNIGHT BRONZE	MCELROY 24 GA. GALVALUME MEGA-RIB PANELS
■	PAINTED STEEL	SLIDER'S COLOR ORANGE	COMM. GRADE EXTERIOR PAINT FOR FERROUS METALS



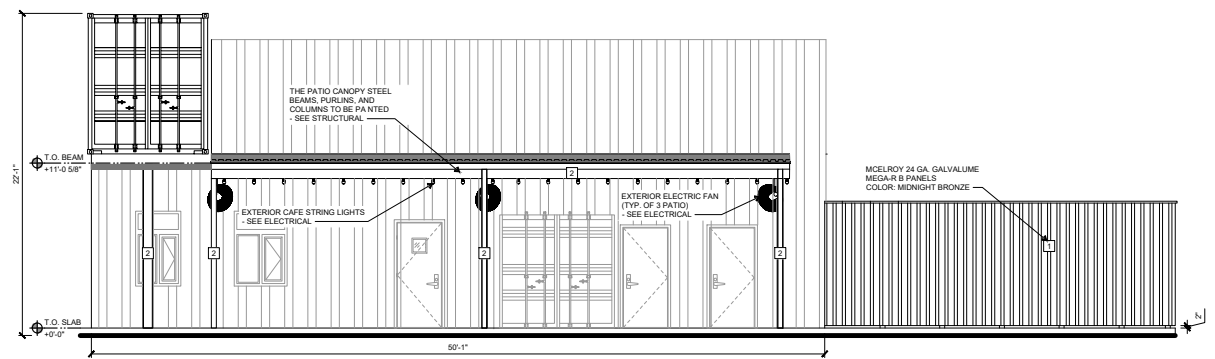
BUILDING ELEVATION
 SCALE: 1/4" = 1'-0"

C
 A-21



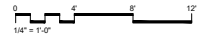
BUILDING ELEVATION
 SCALE: 1/4" = 1'-0"

B
 A-21



BUILDING ELEVATION
 SCALE: 1/4" = 1'-0"

A
 A-21



3/30/2026 1:28:40 PM Rev A-21 ARCHIT ELEVATIONS 202618.DWG

LIGHTING FIXTURE SCHEDULE

NOTES: FIXTURE NUMBERS, LETTER PREFIX INDICATES TYPE OF MOUNTING AS FOLLOWS:
 C-CEILING MOUNTED; S-SUSPENDED; W-WALL MOUNTED; R-CEILING RECESSED; WR-WALL RECESSED; CV-COVE MOUNTED;
 U-UNDERCABINET; P-POST; G-GROUND MOUNTED; X-UNIVERSAL MOUNTED; T-TRUCK.
 ALL FIXTURES SHALL BE 90 CRI MINIMUM, UNLESS NOTED OTHERWISE. LUMEN OUTPUT LISTED IS DELIVERED LUMENS
 PARTIAL MODEL NUMBERS MAY BE SHOWN AND ARE INTENDED TO INDICATE ACCEPTABLE MANUFACTURER'S PRODUCT LINE.
 EXACT MODEL NUMBERS WITHIN THE FIXTURE DESCRIPTION SHALL BE OBTAINED FROM MANUFACTURER'S AGENT.
 ALL FIXTURES MAY NOT BE USED. REFER TO PLANS FOR FIXTURE QUANTITIES.
 FIXTURE DIMENSIONS, LUMEN OUTPUT, AND WATTAGE MAY VARY BETWEEN MANUFACTURERS.
 REFER TO SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS.

FIXTURE NUMBER	FIXTURE DESCRIPTION	VOLTAGE	LAMP TYPE	APPROVED MANUFACTURERS
P1	32.71" x 14.28" x 7.88", POLE MOUNTED LED AREA LIGHT, 1 HEAD PER POLE, CAST ALUMINUM HOUSING W/ MITERED HEAT SINK, SEALED HOUSING, DARK BRONZE FINISH, 4000K, TO CR SOURCE WITH TYPE III BACKLIGHT CONTROL DISTRIBUTION, FULL 5 YEAR WARRANTY, 0.85/100,000 HOUR LUMEN MAINT. FACTOR, 20" HIGH 50. STEEL POLE, 112 MPH WIND LOADING, WITH BOLT COVERS, WET LOCATION FIXTURE: 102 WATTS, 10,211 LUMENS	120V	LED W/ FUTURE	LITHONIA DEX1-LED-P2-40K-700R-3M SERIES
P2	32.71" x 14.28" x 7.88", POLE MOUNTED LED AREA LIGHT, 1 HEAD PER POLE, CAST ALUMINUM HOUSING W/ MITERED HEAT SINK, SEALED HOUSING, DARK BRONZE FINISH, 4000K, TO CR SOURCE WITH TYPE III MEDIUM DISTRIBUTION, FULL 5 YEAR WARRANTY, 0.85/100,000 HOUR LUMEN MAINT. FACTOR, 20" HIGH 50. STEEL POLE, 112 MPH WIND LOADING, WITH BOLT COVERS, WET LOCATION FIXTURE: 88 WATTS, 8,783 LUMENS	120V	LED W/ FUTURE	LITHONIA DEX1-LED-P2-40K-700R-3M SERIES
P3	32.71" x 14.28" x 7.88", POLE MOUNTED LED AREA LIGHT, 2 HEAD @ 180 DEG, CAST ALUMINUM HOUSING W/ MITERED HEAT SINK, SEALED HOUSING, DARK BRONZE FINISH, 4000K, TO CR SOURCE WITH TYPE III MEDIUM DISTRIBUTION, FULL 5 YEAR WARRANTY, 0.85/100,000 HOUR LUMEN MAINT. FACTOR, 20" HIGH 50. STEEL POLE, 112 MPH WIND LOADING, WITH BOLT COVERS, WET LOCATION FIXTURE: 204 WATTS/POLE, 13,785 LUMENS/HEAD	120V	LED W/ FUTURE	LITHONIA DEX1-LED-P3-40K-700R-3M SERIES

GENERAL NOTES

- CALCULATION LEVELS SHOWN WITH CONTRIBUTIONS FROM POLE MOUNTED LIGHTS SHOWN, BUILDING MOUNTED LIGHTS ARE A COMPONENT OF THE MODULAR BUILDING AND ARE NOT INCLUDED IN THESE CALCULATIONS.
- LIGHT LEVELS BASED ON LITHONIA FIXTURES SPECIFIED, ALL OTHERS SHALL SUBMIT PHOTOMETRIC CALCULATIONS WITH PROPOSED FIXTURE EQUALS.

CODED NOTES

- BUILDING MOUNTED LIGHTS ARE A COMPONENT OF THE MODULAR BUILDING AND ARE NOT INCLUDED IN THESE CALCULATIONS.
- TEMPORARY STRING LIGHTING IN THIS AREA ARE NOT INCLUDED IN THESE CALCULATIONS.

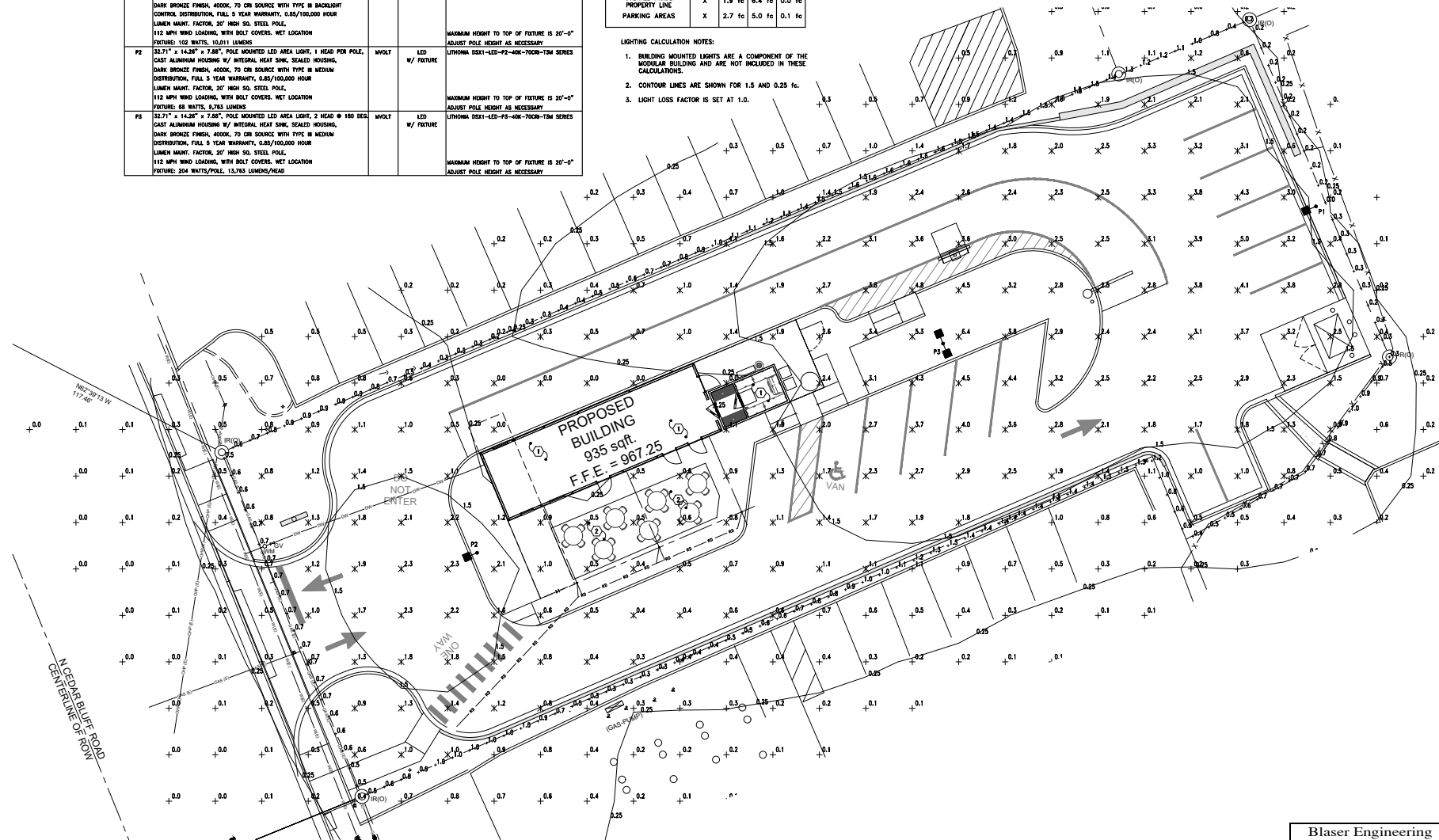
STATISTICS

DESCRIPTION	SYMBOL	AVG	MAX	MIN
PROPERTY LINE GRADE	+	0.8 fc	1.6 fc	0.0 fc
OVERALL INSIDE PROPERTY LINE	X	1.9 fc	6.4 fc	0.0 fc
PARKING AREAS	X	2.7 fc	5.0 fc	0.1 fc

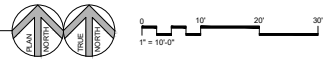
- ### LIGHTING CALCULATION NOTES:
- BUILDING MOUNTED LIGHTS ARE A COMPONENT OF THE MODULAR BUILDING AND ARE NOT INCLUDED IN THESE CALCULATIONS.
 - CONTOUR LINES ARE SHOWN FOR 1.5 AND 0.25 FC.
 - LIGHT LOSS FACTOR IS SET AT 1.0.

SYMBOLS LIST FOR PLANS

SYMBOL	DESCRIPTION	MOUNTING HEIGHT UNLESS NOTED OTHERWISE
P1, P2, P3	SITE LIGHTING FIXTURE (TYPE AND MOUNTING AS NOTED; SEE LIGHTING FIXTURE SCHEDULE)	----



SITE PHOTOMETRICS PLAN
 SCALE: 1" = 10'-0"



Blaser Engineering
 398 Moore Street
 Bristol, VA 24201
 Phone: (423) 349-8380

New Location for:
Smalls Sliders
 330 N. Cedar Bluff Road
 Knoxville, TN

**Cain
 Rash
 West**
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issued 03-30-2026
 checked J. BLASER
 drawn J. BLASER
 project no. 202618

SITE
 PHOTOMETRICS
 PLANS

E-03

Public Notice and Community Engagement

Planning strives to provide community members with information about upcoming cases in a variety of ways. In addition to posting public notice signs, our agency encourages applicants to provide information and offer opportunities for dialogue related to their upcoming case(s). The contact information you provide in your application may be used for that purpose. We require applicants to acknowledge their role in this process.

Sign Posting and Removal

The Administrative Rules and Procedures of the Knoxville-Knox County Planning Commission require a sign to be posted on the property for each application subject to consideration by the Planning Commission.

Planning staff will post the required sign. If a replacement sign(s) is needed, the applicant is responsible for picking up the new sign(s) from Planning and will be charged \$10 for each replacement.

Location and Visibility

The sign must be posted on the nearest adjacent/frontage street and in a location clearly visible to vehicles traveling in either direction. If the property has more than one street frontage, the sign should be placed along the street that carries more traffic. Planning staff may recommend a preferred location for the sign to be posted at the time of application.

Timing

The sign(s) must be posted not less than 12 days prior to the scheduled Planning Commission public hearing and must remain in place until the day after the meeting. In the case of a postponement, the sign can either remain in place or be removed and reposted not less than 12 days prior to the next Planning Commission meeting. The applicant is responsible for removing the sign after the application has been acted upon by the Planning Commission.

Acknowledgement

By signing below, you acknowledge that public notice signs must be posted and visible on the property consistent with the guidelines above and between the dates listed below.

5/11/26

Date to be Posted

5/15/26

Date to be Removed

Have you engaged the surrounding property owners to discuss your request?

Yes No

No, but I plan to prior to the Planning Commission meeting


Applicant Signature

Blake McDavid
Applicant Name

3/23/26
Date