



APPEAL OF DECISION

(Please Note: Original application and staff report are made a part of this application.)

Type: One Year Plan Amendment Sector Plan Amendment Rezoning Variance
 Street Name Change Right-of-Way Closure
 Certificate of Appropriateness Other: Special Use

Decision by: Planning BZA Other: _____ Date of Decision: May 11, 2023

Jurisdiction: City _____ Councilmanic District County _____ Commission District

Original Applicant Name: TACO BELL OF AMERICA, LLC (ROBERT SULLIVAN) Original File Number: 4-D-23-SU

Name of Owner of Subject Property: Peoples Development Company, Inc. Peoples Development Company, Inc.

Description of Subject Property (Include city block and parcel number or lot number): 5613 Kingston Pike Knoxville, TN 37919

Zoning map of all property within 300 feet of the subject property is attached.

DECISION BEING APPEALED

We are appealing the approval of a drive-through facility in the C-G-1 zoning district at 5613 Kingston Pike.

REASON FOR THE APPEAL

Attach additional pages, if necessary. Please refer to the attached document.

PETITIONER INFORMATION

Name of Petitioner: Roderick Ledbetter, Owner of Calloway's Lamp and Shade

Petitioner's Interest in the Matter (Include a description of affected property owned by Petitioner): _____

A Taco Bell drive-through at this location is in direct violation of the Bearden Village Opportunity Plan put into place to conserve the character of our small business community. The congestion created by continuous turning traffic will make reaching our location, and those businesses in the surrounding areas, frustratingly difficult. We also live in Bearden and do not wish to see our community negatively impacted.

Application Authorization: I hereby certify that I am the applicant/authorized representative for the above named petitioner.

Signature: _____

All correspondence should be sent to: Name (Print): Roderick Ledbetter

5714 Kingston Pike Knoxville TN 37919

Street Address City State Zip

Phone: 865-588-0684 Fax: _____ E-mail: Calloways@live.com

For Planning Staff Use Only

Application Accepted by Planning Staff Member: Jessie Hillman

Appeal Fee Amount: \$500.00 Date Appeal Received: 5/19/2023

BODY WHO WILL HEAR THE APPEAL & MEETING DATE OF THE APPEAL

City Council - 6 p.m.

County Commission - 7 p.m.

City BZA - 4 p.m.

Planning Commission - 1:30 p.m.

June 27, 2023

Month • Date • Year

Month • Date • Year

Month • Date • Year

Month • Date • Year

The Knoxville Planning Committee has referred to the Standards for evaluating special use (Article 16.2.F.2.) as the basis by which they approved the request to build a Taco Bell drive-through at 5613 Kingston Pike. As a representative of the community, we appeal this decision based on incomplete and erroneous information, a conflict of interest arising from incomplete investigations as well as complete disregard for community member feedback. Please refer to the following five points in rebuttal to the Planning Committee report.

1. The standards for evaluating special use (article 16.2.F.2) is **NOT** consistent with adopted plans and policies for Bearden Village. In reference to the committee response that the intent was centered around the Homberg Place area, the Pedestrian Plan Map on page 12 of the Bearden Village Opportunities Plan clearly recommends pedestrian walking improvements from Forest Glen Drive to Northshore Ave which is inclusive of the property at 5613 Kingston Pike.
2. The use is **NOT** in harmony with the general purpose and intent of this zoning code. The intent of mixed-use is specifically outlined within the Bearden Village Opportunity plan on page 7 as mixing the types of building tenants within existing structures. The goals stated on page 9 contradict the Planning Committees' review of the intent of this zoning code goals. Specifically, those goals are:
 - a. Enhance pedestrian activity and access, while minimizing the negative effects of vehicular traffic on neighborhoods and pedestrians.
 - b. Enhance the sense of place and community.
 - c. Build upon Bearden's urban character and unique atmosphere by promoting appropriate development.
3. The use is **NOT** compatible with the character of the neighborhood where it is proposed, or with the size and location of the buildings in the vicinity. There is not a drive-through-focused restaurant in this section of the Bearden district to compare this proposed special use to. As such this special use was improperly categorized as "auto-oriented" and within the same category and business type of auto repair and car wash businesses. Furthermore, the nature of a drive-through does not promote the character of an Urban Village as outlined on page 7 of the Bearden Village Opportunity Plan. Specifically, "An urban village is characterized as a complete and integrated community of housing, shops, workplaces, schools, parks, and civic facilities within **easy walking** distance of each other." Taco Bell intends to have 11 simultaneous vehicles in their drive-through at any given time. This is in direct conflict with the intent of an urban village design.
4. The use **WILL** significantly injure the value of adjacent property by noise, lights, and traffic congestion. The proposed Taco Bell will be open until 2:00 am nightly creating light and noise contamination to the adjacent residential area. As the planning commission report points out, the subject site is 10 ft lower than the residential and

educational properties. This will allow for a full line of sight from both areas regardless of an opaque fence or wall. Furthermore, the noise contamination will intensify at the higher elevation of the residences. Additionally, the planning committee accepted the traffic study of the applicant without a further independent evaluation of issues such as traffic pattern congestion. We consider this a conflict of interest as the report was not independently verified by the City of Knoxville. While the study provided states that Taco Bell would not bring a significant amount of additional traffic to the area, it failed to study the actual impact on the traffic flow of vehicles pulling into and out of the parking lot consistently. A recent study by Statista states the average Taco Bell drive-through time is approximately 221.99 seconds. As stated in point 3, Taco Bell's goal is to have 11 vehicles in the drive-through lanes at any given time. Simple math predicts there will be a car turning into and out of the drive-through every 20 seconds during these times. There should also be consideration given to the cross traffic of these vehicles as they enter and exit from opposing directions. The study provided does not consider changes in the current traffic patterns given the new behavior of drivers entering and exiting a drive-through.

5. The use **IS** of a nature or so located as to draw substantial additional traffic through residential streets. The proposed facility is less than one block from Westwood Rd. The planning committee admitted the traffic in this location is already congested. In fact, the westbound congestion has caused current traffic to reroute through the Westwood neighborhood to such an effect, the city has agreed to install 10 speedhumps throughout the neighborhood. Given the additional congestion at the entrance and exit of the proposed drive-through, this issue will only escalate. Notably, these streets are also where many Bearden Elementary School children, many of whom walk to school, live. The additional traffic through the neighborhood introduces an undue risk to the safety of our walking community.

Lastly, 134 Bearden community members have spoken out in public comment against allowing a Taco Bell drive-through. Their comments can be found on the Planning Commission website but have also been included in Article 1 for your reference. I have included the 5 comments in support of the decision for full transparency.

April 12, 2023

Via Online Submission: <https://knoxplanning.org>

Knoxville-Knox County Planning Commission
City-County Building
Suite 403
400 Main Street
Knoxville, TN 37902

Re: Special Use – 5613 Kingston Pike (File # 4-D-23-SU)

Dear Commissioners:

I write in opposition to the special use application for a Taco Bell drive-through at 5613 Kingston Pike (File # 4-D-23-SU):

1. The proposed special use is not consistent with adopted plans and policies, including the Bearden Village Opportunities Plan and the Kingston Pike Commercial Corridor. The adopted plans encourage mixed-use, pedestrian-oriented developments. By definition, a drive-through does not support such plans or vision.
2. The proposed special use is not permitted as of right in the C-G zoning district and therefore is not in harmony with the general purpose and intent of the zoning code.
3. The proposed special use will significantly detract from the immediate environment by creating additional traffic congestion and safety concerns. The subject property is in an elementary school zone where traffic congestion is already untenable. Traffic along Kingston Pike backs up daily throughout Bearden Village, particularly between Northshore Dr and Westwood Road. It is especially bad during rush hour and on school days during morning drop-off and afternoon pick-up at Bearden Elementary and the Knoxville Adaptive Education Center (both of which are immediately adjacent to the subject property). Eastbound cars turning left into the schools (or the car wash) routinely line up in the center turn lane waiting for an opportunity to cross two lanes of heavy westbound traffic. Likewise, westbound cars dropping off/picking kids back up along Kingston Pike all the way back to the intersection with Westwood Road. The carwash at 5615 Kingston Pike diverts its exiting traffic through the school property so that vehicles exit at the traffic signal in front of Bearden Elementary. While this further interferes with school traffic, it is necessary because it is unsafe if not impossible for vehicles exiting this stretch of Kingston Pike to turn left across two lanes of traffic. The proposed project appears to show a right-in-/right-out driveway, and while that would hopefully deter some (but not all) customers from attempting a left turn in or out of the drive-through and across two lanes of traffic, this particular use would do nothing but compound already terrible traffic congestion in the area.
4. The proposed special use will injure the value of adjacent residential property (specifically the Westwood neighborhood) by noise, lights, fumes, odors and especially traffic and congestion. If approved, the use would generate additional traffic along residential streets, emissions and noises from idling vehicles, and odors, noise, and light pollution from the restaurant (including, the drive-through speaker which would operate at nearly all hours). The current plan does not appear to satisfy the zoning code's landscaping requirements, and even with the buffering required by staff as a condition for approval, the contiguous property owners would suffer noise, light, and other pollution and nuisances. Of note, none of the existing "auto-oriented" commercial businesses in

the area immediately abut a single-family residential neighborhood as does the subject property. As a recent resident of Westwood and current resident of neighboring Forest Heights, the amount of cut-through traffic on the narrow, winding streets of Westwood (which don't have sidewalks) is staggering (and one of the reasons we and others with young kids moved). The proposed special use would undoubtedly contribute to additional traffic through those residential streets – from both its own customers and by creating additional traffic congestion on Kingston Pike, thus encouraging more traffic to avoid it via Westwood. In fact, the traffic is already so bad along this stretch that the City installed a flashing signal at the Westwood Road intersection warning of traffic congestion ahead (which, irresponsibly, encourages traffic to bypass the Kingston Pike-Northshore Drive intersection and instead cut through the residential streets of the Westwood neighborhood).

5. The nature of the proposed special use will pose a potential hazard within a school zone by creating additional traffic congestion. Applicant did not submit a traffic impact study, but rather a limited "Driveway Evaluation" that found no sight distance deficiencies; however, it is the sheer volume and speed of traffic in this area, and the new flow of traffic into, out of, and around a drive-through operation that is problematic – not merely sightlines. While any commercial use at the property would generate additional traffic, the proposed drive-through operation is particularly inappropriate in this location because of the existing traffic conditions, limited off-street parking and drive-through lane, and the adjacent schools and single-family neighborhood. Recent traffic studies and public conversations have focused on the need to prevent drive-through operations from causing traffic back-ups along Kingston Pike (e.g., the Starbuck's on Cumberland Avenue). That specific problem is exactly what will happen if this special use is approved.

For the reasons noted above, and others, please vote to deny this application. Thank you for your consideration.

Sincerely,



David R. Arning

On Monday evening, May 8, 2023, representatives from Taco Bell gave a presentation to the Bearden community about the proposed drive thru location at 5613 Kingston Pike. At this presentation, Taco Bell argued that their drive thru restaurant would not substantially increase the traffic in this congested school zone, but create fewer unique trips and fewer overall trips than if the location were the site of a "High Traffic (Sit Down) Restaurant."

To support this argument, Taco Bell produced calculations that said that the total trips generated on an average weekday by a High Traffic (Sit Down) restaurant would equal 1,883. They contrasted this number with their projection that a Taco Bell drive thru would create a mere 1,070 trips on an average weekday.

The the square footage used to reach these conclusions is inappropriate to a degree that I believe is manipulative if not outright dishonest.

When calculating Trip Data, one enters the square footage of the establishment into the proper formula. In this case, Taco Bell entered the square footage of the existing derelict Cas Walker (17,565 sq ft) into the formula for a High Traffic (Sit Down) Restaurant to obtain their total trips of 1,883.

According to my research, a "High Traffic (Sit Down) Restaurant" is a business like Applebees. I used data from the Knox County Property Assessors website to determine the average square footage of the three Applebees locations in Knox County. That average square footage is 4789.67. (Please see Exhibit A)

When the average square footage of 4789.67 is entered into the trip generation formula for High Traffic (Sit Down) Restaurants, *the resulting number of trips is 513.45.*

Trip Generation Formula: $T = 107.20 * (X)$
where: T = Number of Trips Generated
X = 1000 Sq. Feet Gross Floor Area

or

$T = 107.20 * (\text{square feet}/1000)$

$T = 107.20 * (4789.67/1000)$

$T = 513.45$

This is 52% fewer trips generated than the number of trips that Taco Bell's own calculations say would be generated by their drive thru.

In fact, the "Largest Applebees in the World" located on Times Square in New York City is only 15,000 square feet. That is 2,565 square feet smaller than the square footage used to calculate the trips generated by the hypothetical High Traffic (Sit Down) Restaurant against which Taco Bell has favorably compared its trip numbers. I find it absurd that Taco Bell has hypothesized *the literal largest Applebees in the world* in order to put a positive spin on its trips generated statistic.

Furthermore, Taco Bell stated that the unique trips (as opposed to people already passing by) generated by their drive thru would be 45% of their average week day number, or 482. ($1,070 \times .45 = 481.5$) According to Taco Bell's own methodology, *the number of unique trips induced by this Taco Bell drive thru are equal to 94% of the entire number of trips that would be expected to occur if an average sized Applebees were to be built at that location.*

I use my bicycle to transport myself and my 9 year old child throughout the Bearden area. 482 additional trips to this location will push more traffic from this congested area into the side streets and neighborhoods that we use to safely travel. The increase traffic on those side streets and in those neighborhoods will increase the likelihood of a car hitting me or my child.

Taco Bell came to my community and presented information that was misleading and stated that their business would be the safest traffic choice for me and my family, even though a fair analysis of the data shows the exact opposite to be true.

Exhibit A

Applebees Location	Square Footage
2912 KNOXVILLE CENTER DR	4986
5316 CENTRAL AVENUE PIKE	5093
261 N PETERS RD	4290
Average Applebees Square Footage	
	4789.67

Article 1: Community Comments

Anne , 37919

March 25, 2023

I received notecard today in the mail regarding the proposal. We do not want Taco Bell almost directly behind our home. On behalf of Westwood neighborhood and century court, this space on Kingston pike is visible from my back yard. It is right beside the greenway. It is right beside my home with no buffer for smells/etc which will travel from the kitchen. Please do not rezone this space.

Anne , 37919

March 25, 2023

Additionally, to my previous comments. Changing this location from commercial to almost a 24/7 drive through this is much different use of this land. Taco Bell being open 7a-4a typically is going to be disruptive and increase traffic into late hours of the night.

-Westwood neighborhood. My home is [REDACTED]. Location visible from my back porch.

Michal, 37919

April 11, 2023

As a Bearden resident and Homeowner that lives very close to the proposed location of the Taco Bell, I oppose this proposal to allow a Taco Bell. I drive this stretch of Kingston Pike multiple times a day. This will add to congestion and make this already busy stretch of road more dangerous. Please do not allow this zoning change for a drive through and please do not allow this Taco Bell to be built at this location.

Chad, 37919

April 11, 2023

Thank you for your consideration. I am a parent of a student at Bearden Elementary school and we use the road between the proposed property and the car wash to access the roads to drop off/pick up our daughter from school. The traffic in the afternoon becomes quite problematic even without having a fast food restaurant present. Often in the afternoons, cars for school pickup line are backed up down the center turn lane of Kingston Pike waiting to turn left toward the school property. I suspect traffic will become even more challenging once cars are regularly entering/exiting the fast food line or the restaurant at that very same location. I am not in favor of a fast food restaurant in this location. I support using this space for other retail purposes that would have a slower traffic pace. Thank you.

Finbarr , TN

April 11, 2023

We just learned today of the Taco Bell proposed for the former Westwood Antiques site. The idea of a drive-through business on an already overloaded street is appalling. The traffic situation at Kingston Pike and Northshore Drive has been deemed near-failure for over a decade. This would simply exacerbate the problem.

Not only does the traffic going west on Kingston Pike back up before work, during rush hour and during lunch hour, it frequently is at a standstill any time there is a traffic problem on I-40. In addition to that, Bearden Elementary backs up traffic before and after school on a daily basis.

The traffic situation needs to be thoroughly examined and considered before the planning commission BEFORE there is any consideration for approval.

Elizabeth , 37919

April 11, 2023

As a resident of the Bearden area and a parent of elementary school students, I strenuously object to the proposal to open a Taco Bell at 5613 Kingston Pike. The traffic on this stretch of Kingston Pike is already burdensome, with backups peaking during the hours between school pick up and the end of the work day. Traffic is also worse during the time between Halloween and Christmas.

I have worked in the retail quick service industry and am familiar with drive through logistics and customer counts. The amount of cars pulling in and out of a fast food restaurant will be disrupt traffic flow, create bottlenecks during the busiest time of the day and increase the risk of accidents.

Tonya, 37919

April 11, 2023

My husband and I have lived in Bearden since 2000. While we love our neighborhood, we don't love the TRAFFIC on Kingston Pike that gets regularly backed up between Homberg and Northshore. The traffic jams are particularly bad in front of Bearden Elem School. When school is dismissed, parents have to cross Kingston Pike eastbound to access the school parking lot/pickup line in horrific traffic. Unfortunately, this is where the Taco Bell is wanting to put in a restaurant probably with a drive through. The traffic created by such an establishment will only exacerbate an already bad traffic situation. I noticed, too, the photos taken by the site investigators show no traffic on Kingston Pike. They must have wanted a low traffic time for their convenience and for clear photos. However, it would be my hope that the MPC will consider the true impact of allowing Taco Ball on traffic and investigate the site not just at its best, low traffic times of day but also during its worst, heaviest traffic times.

Elizabeth, 37919

April 11, 2023

Knoxville has a longstanding issue of routine traffic backups on Kingston Pike from Northshore east to Westwood Drive. It makes no sense to add a business that generates a high volume of short trips to an already congested area, to say nothing of the impact of noise, trash and food smells at almost all hours of the day and night. If a Taco Bell is needed that badly in the area, it's better suited to a location on the south side of Kingston Pike where it would cause much less congestion for Knoxvilleans and much less offense to the neighboring communities.

Tim, 37919

April 11, 2023

We don't want Taco Bell to in the Bearden area! We have enough traffic congestion as is!

Julia, 37919

April 11, 2023

I have just learned of a proposal for a Taco Bell to go into the Westwood Antiques Site on Kingston Pike. This is absolutely the worst idea. As a resident of Westwood, there is so much traffic congestion in this spot that adding a drive through would be horrendous. We have been trying to get traffic relief there for decades. How in the world does this enhance old Bearden or the Traffic. There is a Taco Bell a few blocks down. Why in the world would we need another crappy, cheap Mexican fast food joint. Are you trying to drag down the values of this lovely area?

Good.Lord.

Miller, 37919

April 11, 2023

Please see attached.

[View Attachment](#)

Amy, 37919

April 11, 2023

I am a parent of students at Bearden Elementary School and drive by this property (which is within the school zone) multiple times every day. I would first like to note that the adjacent residential neighborhood was not informed of this requested special use and a public notice sign is NOT posted at the property. I request you do not approve this special use. At a minimum I request you delay the vote to allow adequate public notice and opportunity for the public to provide comment. The traffic congestion within this stretch of Kingston Pike is severe, especially during arrival and dismissal time for students at Bearden Elem and KAEC. The transportation analysis focuses primarily on the drive-thru traffic pattern and line of sight from the proposed driveway. The traffic study does not take into consideration the congestion drivers already experience on Kingston Pike and the wait times drivers will experience to turn into and out of the proposed Taco Bell, as well as how that will impact drivers during school dismissal. Congestion on Kingston Pike will undoubtedly increase if this special use is approved. I appreciate that a defined sidewalk and landscaping vegetation would improve current conditions on the property, but I do not support this special use request to have a drive-thru restaurant at this location, especially one open well past midnight with residential single-family homes directly behind the property.

Michael, 37919

April 11, 2023

I live in the Westwood subdivision, just behind the proposed location of this new Taco Bell. I'd like to speak out as one strongly opposed to the building of this restaurant. This stretch of Kingston Pike is extremely busy throughout much of the day, especially during lunch and dinner hours, when traffic up and down the Kingston Pike corridor is especially heavy. There are heavy backups constantly between the traffic lights at Westwood Road, all the way through the Northshore Drive traffic light. Adding more vehicles from such a restaurant would put additional vehicles into this mix, further exacerbating what is already a bad bottleneck situation. In addition, Bearden Elementary School would be right next door, and the traffic going to and from the school is already heavy enough. PLEASE make the right decision and vote no on the construction of this restaurant.

Chantelle, 37919

April 11, 2023

We adamantly oppose the approval of a Taco Bell in 37919 on Kingston Pike. The traffic is already at astronomical levels, impossible to navigate at certain times of the day, and the city has failed to do anything to alleviate this situation regardless of numerous complaints and requests. This location is just beside a school who has a heavy traffic situation as is. We would however approve a non fast-food, non drive thru restaurant with less traffic, or a retail establishment that is low traffic. Furthermore the type of clientele this would draw will add to a growing issue that centers around the pharmaceutical traffic at Food City. It is unacceptable.

Kelly, 37919

April 11, 2023

I am writing to oppose the building of the proposed Taco Bell on Kingston Pike in the vicinity of the Bearden Elementary School. If you lived in the neighborhood you would know the area from Northshore and Kingston Pike intersect all the way to Toddy's is a

major area of congestion. People use Sutherland and jump over to Kingston Pike and that traffic starting at Firestone backs up into the neighborhood especially on Fridays. The traffic from the ChickFilA drive through causes enough problems when it spills out onto Kingston Pike but at least traffic flows better eastbound because no one is cutting through to get on I-40 from Sutherland. I can barely exit my neighborhood using Northshore because of the traffic flowing from Kingston Pike now the other entrance will become congested. The lights at each of these areas of congestion are so poorly timed which only adds to the problem.

There are 3 accessible Taco Bell's from the neighborhood now, one on UT Campus and one towards West Hills Mall each a little over 2 miles in each direction. Why do we need another one? Go down Northshore and put one where there are not many fast food options.

Rachel, 37919

April 11, 2023

I am a resident of the neighborhood directly north of the planned fast-food establishment. I object to the proposed change to zoning.

The stretch of Kingston Pike between Knox Plaza and Northshore Drive is already sufficiently congested to warrant a flashing sign warning of said congestion (within a few hundred feet of the proposed restaurant). Adding a busy fast food restaurant with extended opening hours would only add to this problem. Bearden Elementary School and KAEC are located within feet of the proposed location; drop-off, pick-up, and bus traffic would be impeded by traffic from customers for this restaurant.

Rachel, 37919

April 12, 2023

As a resident of Westwood neighborhood, I oppose the proposal regarding a drive-thru Taco Bell in front of our neighborhood and adjacent to two schools on Kingston Pike. The traffic congestion in this small part of Kingston Pike is already substantial. The traffic backs up in both directions of Kingston Pike, resulting in traffic flow stopping from the light at Westwood Road, back into the neighborhood and down Sutherland, often times past the post office. School children are negatively impacted by traffic, by cars that do not slow down during lower volume times, by cars that cut through the Westwood neighborhood at high speeds when Kingston is backed up, and by garbage. The BES girl scout troop already spends shifts each year picking up trash from the car wash at the school properties and along the greenway.

Taco Bell will compound these issues and diminish the quality of life for Westwood residents and for a variety of school children.

Joel, 37919

April 12, 2023

The proposal to put a Taco Bell in front of the Bearden Elementary school is likely to dramatically increase traffic congestion in around the school.

This congestion is likely to increase the traffic cutting through the Westwood neighborhood to find a faster route to the interstate from Kingston Pike. These factor further increase the danger to pedestrians in the neighborhood including children walking to school.

For the safety of my neighbors and the children attending Bearden Elementary. please deny the request to put Taco Bell with a drive thru in the old yellow Bearden Antique building off Kingston Pike.

Jim, 37919

April 12, 2023

Please vote no to not allow Taco Bell into bearden. There is already too much traffic on that area of Kingston pike and we have enough fast food close by- with another Taco Bell within 2 miles for those in need.

Leslie, 37919

April 12, 2023

As a resident of Westwood neighborhood, I oppose the proposal regarding a drive-thru Taco Bell in front of our neighborhood and adjacent to two schools on Kingston Pike.

Traffic congestion on Kingston Pike in this area is already substantial. It backs up in both directions of Kingston Pike, with traffic stoped from the traffic light at Westwood Road, and extending into the neighborhood and down Sutherland at times past the Post Office to the Bearden United Methodist Church. Children are placed in danger by this traffic, by cars that do not slow down during lower volume times, by cars that cut through the Westwood neighborhood at high speeds when Kingston is backed up, and by rubbish thrown-out by inconsiderate drivers. The Bearden Elementary School Girl Scout Troop already uses their time picking up trash from the car wash, on the school properties, and along the greenway.

A Taco Bell will exacerbate these issues and diminish the quality of life for Westwood residents and for a variety of school children.

Kristi , 37919

April 12, 2023

I oppose this change. This drive through is likely to increase traffic in a spot that is already highly congested and Taco Bell's architectural design is usually pretty bad

which works against all the efforts being made to improve the Bearden Village area.
Please vote no on this proposal.

Bo, 37919

April 12, 2023

I am opposed to the Taco Bell planned for Kingston Pike. This area already has a huge traffic problem and this development would further aggravate the problem especially in front of The elementary school.

Richard, 37919

April 12, 2023

This is a terrible idea. The traffic on this portion of Kingston Pike is bad enough as it is, the addition of a fast food drive through is just going to make it worse.

Amelia, 37919

April 12, 2023

Please see my attached comments. Also, please be aware that although my home is less than 100 feet from the property in question, I received no notification by mail that this parcel was being considered for special use, nor is there any signage on the property indicating such. I imagine that many more people would have submitted comments if they were aware of the proposed Taco Bell at this property.

View Attachment Below:

As a homeowner in Westwood and a Knox County Schools administrator, I implore you to deny this application. The traffic problems at Northshore and Kingston Pike are well known and would be significantly worsened by the addition of a new drivethru restaurant. Westwood already has problems with drivers diverting through our neighborhood to avoid the traffic slowdowns, creating safety issues for our narrow streets, several of which are one-way. The Taco Bell project would exacerbate this and

make our neighborhood streets more unsafe. The best part of this historic neighborhood is its walkability, and you would be ruining the close-knit community feel of this desirable neighborhood by approving a project that counteracts the traffic calming measures enacted just last year. My own property would be so close to the Taco Bell that I would be able to hear the drive-thru all through the day and most of the night, as would many of my neighbors. Property values would be diminished, and for no reason—we have no need for another fast food restaurant here, and especially one that so jarringly clashes with the quirky, upscale feel of the Bearden Shopping District. In my role as a principal I can also speak to the congestion and noise from the schools' side because older school buildings like BES and KAEC do not buffer outside noises. The classrooms facing Kingston Pike already deal with a constant din of street noise, so the added noise pollution from a Taco Bell would negatively impact the learning of all those students. Litter is also already a big issue, and school staff and neighborhood walkers often clean up the trash that has blown from the businesses onto the school campuses. Taco Bell certainly would help with that either. Furthermore, during the schools' morning arrival and afternoon dismissal, the Northshore/Kingston Pike area would go from infuriatingly clogged to impassable. Ultimately, we do not need the added traffic, the noise pollution, the increased litter, or the eyesore that a Taco Bell would bring. We would love to see the old Westwood Antiques property developed, but Taco Bell is not the right fit. Please preserve the historic integrity of this popular area and deny this application. Sincerely, Amelia Baker

Mary, 37919

April 12, 2023

I am opposed to building a Taco Bell or any fast food restaurant at this location. It is a high traffic area that has delayed traffic at certain times of the day. There are residential home close to this location as well and a busy late-night fast food restaurant would be a nuisance (the noise from drive through speakers carry). I think this will add to the traffic problems as well as be a burden on the residents of this area. Thank you.

Sable, 37919

April 12, 2023

Please do not approve a Taco Bell in this location without a thorough traffic study. With the already congested traffic at Northshore and Kingston Pike plus Bearden Elementary, I am concerned about capacity and safety. Thank you for your time.

Christy, 37914

April 12, 2023

There is already so much traffics during schools times and the security risk would increase dramatically. Please reconsider.

Leslie, 37919

April 12, 2023

As a Westwood resident and a parent of a Bearden elementary student, I oppose having a fast food restaurant in this highly congested *school zone.* We should be focusing on development that makes it safe for kids to walk and bike to school, not development that will exacerbate already dangerous car traffic.

Emily, 37919

April 12, 2023

While I understand wanting to expand businesses, placing a Taco Bell in that area will increase accidents and what about children's safety? (especially with the school zone right there) Please be mindful of where you place businesses, mainly when children are involved. The traffic is already bad enough. Seems like a really bad idea to me.

Ashlie, 37922

April 12, 2023

I ask that you truly consider the negative effects of putting a fast food drive through restaurant in this area. First and foremost placing a Taco Bell here impacts the residential area that is located directly behind it. The traffic in the area is already heavy and congested. Adding to this by placing a drive through is an ill thought out decision.

The residents of the neighborhood behind the proposed site should not have to deal with the additional traffic and associated negativities brought by a fast food restaurant being placed in an area that was never intended to be used for such.

Logan , 37924

April 12, 2023

I drive through the area almost daily. With surrounding schools, I feel this is a safety risk.

Sara, 37919

April 12, 2023

As a Bearden resident and parent of Bearden Elementary School children, I strongly oppose adding this establishment to our already congested neighborhood. It would be a disruptive and dangerous addition.

Elishia, 37918

April 12, 2023

I oppose the addition of a Taco Bell in that area. Traffic is already so congested in that area and adding a business of that would bring in a high volume of traffic would increase the difficulty of navigating that area.

Daphne, 37919

April 12, 2023

WE DO NOT NEED A DRIVE THRU TACO BELL IN AN ALREADY BUSY AREA. ITS ABSURD !!!

Mary, 37919

April 12, 2023

Hello. I live in the Westwood neighborhood of Bearden, and oppose this potential Taco Bell development. Placing a busy drive-through close by one of the most congested intersections in Knoxville makes no practical sense. That stretch of road is very regularly backed up in both directions. There is no way traffic heading east and wishing to turn left into a Taco Bell would be able to do so quickly if at all. Until the city comes up with - and puts into effect! - a permanent traffic-relieving solution, proposals for this lot and area should be restricted to businesses expecting a reasonable traffic ebb and flow.

Laurie, 37919

April 12, 2023

As a business owner who owns property and runs a business very close to the area in question I strongly oppose this zoning request. This stretch of Kingston Pike is already highly congested with traffic frequently backing up from the Northshore/Kingston Pike intersection. The proximity to the sole road entrance to the elementary school - would make it even more difficult to have a busy fast food restaurant there. Please deny this zoning request!

Melina, 37914

April 12, 2023

As someone who works at the school behind the proposed Taco Bell during the summer months, I strongly oppose building a fast food restaurant so close to the school. This is a safety risk to the students and staff at the schools. Also, traffic is already horrendous in that area and the increased traffic in the already congested area would cause frustration and added safety risks to the area.

Jessie, 37919

April 12, 2023

I am opposed to this proposal for a Taco Bell for the same reasons other commenters have already discussed!

Sally, 37923

April 12, 2023

I am a teacher at Bearden Elementary. Increased traffic would be very dangerous to students. The traffic on Kingston Pike is already extremely bad after school and this would back it up more.

Sarah, 37919

April 12, 2023

As a nearby resident and mother of children at Bearden Elementary School, I would like to draw attention to the already terrible traffic situation that exists at this location on Kingston Pike. As a resident of Westwood, we see a tremendous amount of cut through traffic to avoid the intersection at Kingston Pike and Northshore. Our neighborhood has an open or just completed traffic study to help reduce cut-through traffic. This area is a highly trafficked and is constantly backed up through multiple lights during school drop off, rush hour, during lunch and many times when the interstate is experiencing traffic issues. A drive-through business operating at this location would only add to the already horrendous traffic situation. As a parent of Bearden elementary students, I encourage someone to visit the school at 2:15-2:30pm to see all the cars that use this parking area to wait for car rider line to open. Should a fast food restaurant open in this location, all the car rider line will be waiting in one lane on Kingston Pike. On Kingston Pike. Imagine this traffic interference this will cause. Please consider relocating this business.

Richard, 37919

April 12, 2023

As a resident of Westwood Bearden, I oppose the Taco Bell proposed location on Kingston Pike.. the traffic there is already congested and imposes issues upon Bearden Elementary school.

Sarah, 37919

April 12, 2023

As a local business located directly next to this proposed development, I strongly oppose this special-use allowance. Our parking lot is already dangerously overpacked during school pick-up hours, as it is used as a "holding space" for cars waiting in the pick-up line. Our staff gets "parked in," and clients and customers can't even enter the lot due to the traffic from school. It's already a zoo in the afternoon; adding additional obstacles to traffic flow is unimaginable.

Increasing slow-moving traffic from a fast food establishment is an extremely unwise use of this space. It will create far more safety issues than we already have—right next to an elementary school!

Emily , 37923

April 12, 2023

Please deny this request to build a drive thru. I work at KAEC over the summer. Traffic and sound does not need to increase in that area.

Nichole, 37919

April 12, 2023

I am NOT for the Taco Bell. it is opening the door for more fast foods in the area and ruining the esthetics of the area.

Kate, 37919

April 12, 2023

I strongly oppose putting a Taco Bell in this location. I have a child who attends Bearden Elementary, and traffic at pick up time is already horrible.

Mary, 37919

April 12, 2023

This location is NOT appropriate. I'm fine with fast food restaurants and Kingston Pike has lot of them, but the crush of traffic in this particular area including a school and one of the worst intersections in Knoxville for congestion makes a drive through here a terrible idea.

brandy, 37919

April 12, 2023

This is a very bad idea we have enough accidents already with the traffic issues as is between school traffic , i40 back up, rush hour, lunch time ect. It's already nerve wrecking now to let my son walk our dog on westwood area due to traffic. I also never received a letter about the hearing in the mail and should of being I'm on century ct right next to the location of interest.

Alanna, 37919

April 12, 2023

The Westwood HOA is opposed to the development of a Taco Bell 5613 Kingston Pike. Not only does the traffic going west on Kingston Pike back up before work, during rush hour and during lunch hour, it frequently is at a standstill any time there is a traffic problem on I-40. In addition to that, Bearden Elementary backs up traffic before and after school on a daily basis. The business would bring in additional cut-through traffic to the neighborhood and additional noise pollution from the late hours of operation.

Owen, 37919

April 12, 2023

I am a resident of the Westwood neighborhood adjacent to the proposed Taco Bell location. I object to the proposed change to zoning.

David, 37919

April 12, 2023

Currently, the traffic pattern on Kingston Pike between Westwood Drive and Northshore Drive is at a near standstill between noon and 6pm every day. Consequently, drivers cut through the Westwood neighborhood. Most drivers excessively speed through this quiet neighborhood with winding roads and many small children. I oppose this development without considering its traffic impact on Westwood neighborhood or without a plan to improve traffic flow on Kingston Pike.

Stephanie, 37919

April 12, 2023

I am writing to oppose the proposed Taco Bell drive-thru that will replace the old Cas Walker grocery store in Bearden. As a resident of Westwood for almost 25 years, I have witnessed a steady increase in traffic around our neighborhood and through our neighborhood, and the continued poor planning of the city to effectively address our

traffic issues. Adding such a high-profile business, with long operation hours, would only exacerbate the traffic congestion in Bearden and will likely produce more cut-through traffic in our neighborhood. It will also exacerbate the traffic concerns of Bearden Elementary which is located next door. It is currently extremely hard to exit our neighborhood onto Northshore due to heavy traffic and it is downright dangerous to exit our neighborhood on Westwood which connects to Sutherland as most cars chose NOT TO STOP AT THAT STOP SIGN, resulting in many near misses in accidents. Additionally, our neighborhood does not have sidewalks, although it is located adjacent to a greenway, so walking is a challenge due to the current amount of traffic. A heavily trafficked restaurant will only add to all of these existing issues which are growing worse. In addition to creating more traffic, it would also likely increase the amount of trash that is tossed out as drivers cut through Westwood. When Krystal had a location in Bearden, the amount of garbage that was tossed in Westwood was horrible and I can only imagine more of the same with Taco Bell.

View Attachment Below:

I am writing to oppose the proposed Taco Bell drive-thru that will replace the old Cas Walker grocery store in Bearden. As a resident of Westwood for almost 25 years, I have witnessed a steady increase in traffic around our neighborhood and through our neighborhood, and the continued poor planning of the city to effectively address our traffic issues. Adding such a high-profile business, with long operation hours, would only exacerbate the traffic congestion in Bearden and will likely produce more cut-through traffic in our neighborhood. It will also exacerbate the traffic concerns of Bearden Elementary which is located next door. It is currently extremely hard to exit our neighborhood onto Northshore due to heavy traffic and it is downright dangerous to exit our neighborhood on Westwood which connects to Sutherland as most cars chose NOT TO STOP AT THAT STOP SIGN, resulting in many near misses in accidents. Additionally, our neighborhood does not have sidewalks, although it is located adjacent to a greenway, so walking is a challenge due to the current amount of traffic. A heavily trafficked restaurant will only add to all of these existing issues which are growing worse. In addition to creating more traffic, it would also likely increase the amount of trash that is tossed out as drivers cut through Westwood. When Krystal had a location in Bearden, the amount of garbage that was tossed in Westwood was horrible and I can only imagine more of the same with Taco Bell. Lastly, with a current Taco Bell close by on Kingston Pike, I feel that adding another location is not necessary

Cameron, 37919

April 12, 2023

I would like to oppose allowing the Taco Bell to go into our community at 5613 Kingston Pike. There is already huge traffic issues with the intersection of Kingston Pike and Northshore that back all the way up passed the elementary school and this location. Adding this type of business will only increase the traffic and cause more problems. Parents already do not have a safe way to wait for their children when picking up as a car rider as the line extends onto Kingston Pike in front of this location. I ask that you do not allow this project to move forward and instead find another location that is more suitable for this type of business.

Raymond, 37919

April 12, 2023

This is terrible location to locate a Taco Bell, or any fast food business. I frequently drive through this area and it is often heavily congested. It is close to one of the busiest intersections in the city. A traffic light would almost certainly have to be added. I am greatly concerned about the safety of children from nearby Bearden Elementary School, who will either be on foot or transported in vehicles entering and existing the school grounds. Thank you for your consideration.

Beth, 37919

April 12, 2023

I am vehemently opposed to this project. It will burden an already congested area of Bearden and increase cut through traffic in my Westwood neighborhood.

Windy, 37919

April 12, 2023

As a homeowner in Westwood and educator, I ask that you please deny this application. I worry about the added traffic, noise, and people so close to a residential area and where young children walk to and from school. We already have a significant number of people speeding through Sutherland and this would increase the number of cars in a very walkable and family-friendly community.

The hours of Taco Bell are also a concern because the other establishments close well before the bedtime of school-age children. At one time, I worked for Carol Leeds at West End Antique and this building was previously a Cas Walker. Both of these businesses helped and served the community. I can't fathom a Taco Bell being a benefit so close to Century Court and other family homes. We also have many residents of retirement age, and this is not conducive to the needs of our community.

Graham, 37919

April 12, 2023

I am writing to oppose the proposed Taco Bell drive-thru that will replace the old Cas Walker grocery store in Bearden. As a resident of Westwood for almost 25 years, I have witnessed a steady increase in traffic around our neighborhood and through our neighborhood, and the continued poor planning of the city to effectively address our traffic issues.

Westwood and this part of Bearden are already plagued by mismanaged traffic and a flow of cut through traffic into a residential neighborhood with extremely high traffic and speeding where there are children playing and residents walking dogs. The stretch of Kingston Pike intersecting with Northshore Dr is the most congested stretches in Knoxville. Adding a high-traffic business would only exacerbate the traffic congestion in Bearden and will likely produce more cut-through traffic in our neighborhood. It will also exacerbate the traffic concerns of Bearden Elementary which is located next door. It is currently extremely hard to exit our neighborhood onto Northshore due to heavy traffic and it is downright dangerous to exit our neighborhood on Westwood which connects to

Sutherland as most cars chose to ignore the stop sign. Additionally, our neighborhood does not have sidewalks making walking a challenge due to the current amount of traffic. In addition to creating more traffic, it will increase the amount of trash in the area.

Heather, 37919

April 12, 2023

I oppose all fast food restaurants and other high traffic causing retail shops occupying this space. Reducing traffic congestion and enhancing safety should be the focus around the elementary school. The arrival of Taco Bell would contribute to an already dire problem. Do not allow this to happen.

McKenna, 37919

April 12, 2023

Writing to express my support of the special use permit for the provisioning of a drive through at this address. This business will remove an eye sore and drive business to the area that can benefit traffic to the surrounding business.

Lens, 37919

April 12, 2023

This is a terrible idea, and should not be approved for consideration. Just drive by this location at school drop-off and pick-up time, or any afternoon. You would think Neyland Stadium was located at the intersection of Northshore and Kingston Pike.

Lizzy, 37919

April 12, 2023

As a Westwood resident and parent of young children, I strongly oppose the placement of a Taco Bell in the Bearden Antique Mall site:

1) Kingston Pike traffic in that area is already horrific -- placing a fast food restaurant within this zone will only exacerbate an already intolerable situation

2) Taco Bell sites currently exist both east and west of this location; there is no need for another

3) Westwood neighborhood is already dangerous for pedestrians because of the amount of cut-through traffic, and this will only make it worse

4) For those Westwood residents located directly behind the site, they will have to endure almost 24/7 drive thru speaker noise and restaurant smells

5) Children, parents and teachers at Bearden Elementary School already have to be vigilant because of the high traffic levels -- this would further decrease safety

6) Taco Bell would undoubtedly increase litter on Kingston Pike, Sutherland and Westwood neighborhood

7) Taco Bell would negatively affect property values in Westwood neighborhood

Caroline, 37919

April 12, 2023

I am a 24-year resident of the Westwood subdivision, and I have recently learned of the proposal to build a Taco Bell on Kingston Pike in front of our neighborhood and in close proximity to Bearden Elementary School and the Knoxville Adaptive Education Center. I hope that you reconsider this proposal, as a fast-food restaurant with a drive-thru and

late hours will only contribute to the excessive congestion we experience every weekday and many weekends in the 5000 block of Kingston Pike. This is not a sensible place to locate a restaurant, especially since an existing Taco Bell is only 2 miles to the west. Residents of Westwood and our neighboring communities would prefer traffic-mitigation and congestion-reduction actions, given the regular backups we experience on Kingston Pike and on Sutherland Avenue. This is a walking and biking corridor that will be made less safe than it already is, and will incent additional drivers to use our neighborhood as a cut-through after visiting the restaurant.

Scott, 37919

April 12, 2023

As a resident of Westwood subdivision, I travel the section of Kingston Pike adjacent to the proposed business on a regular basis. I am concerned that the additional traffic created, would make worse, what is already a very heavily traveled and congested area. I encourage the Commission to again consider the decision to approve this project.

Michael, 37923

April 12, 2023

This stretch of Kingston Pike is already one of the busiest areas in the entire city, with two schools that would be dramatically impacted by the addition of yet another fast food restaurant that is simply not needed. There is a Taco Bell just a mile or so down the Pike if it what suits your fancy, so why the need for another in a space that simply can't absorb an additional traffic generator? If that space will available, why not create a space that will benefit the communities that surround this area, as well as something that could be meaningful for the schools?

Katherine, r Dr.

April 12, 2023

Adding any business to this area is irresponsible as the traffic is already too heavy and dangerous. Adding a drive-through restaurant is an even worse idea due to having people having to enter and exit into already bumper-to-bumper traffic for much of the day.

Consider widening the sidewalks and calming the already dangerous traffic in this area rather than adding to the existing problems.

Carolyn, 37919

April 12, 2023

I oppose a Taco Bell anywhere in Bearden.

Gregory, 37919

April 12, 2023

Please, vote no Taco Bell in the Bearden Village/Forest Heights/Westwood vicinity. We already deal with the overly, heavily used drive thru's at Smoothie King, Starbucks and Chick-fil-A that sometimes spill over onto main roads and contribute greatly to traffic congestion. And we don't want more litter from the patrons throwing out their fast food trash onto our streets. Vote NO to Taco Bell.

Linda, 37919

April 12, 2023

The Kingston Pike/Northshore intersection is one of the most congested lights in Knoxville, and the traffic regularly backs up past Bearden Elementary on Kingston Pike. Adding in a Taco Bell drivethrough when there is one on Campus, AND near the mall is

unnecessary and would exacerbate traffic issues in an already overloaded stretch of Kingston Pike.

Andrew, 37919

April 12, 2023

I am writing to voice my opposition to a drive-thru Taco Bell at 5613 Kingston Pike. As a parent of a Bearden Elementary student, the location next to both an elementary and adaptive education school gives me concern for the safety of students at both schools. The increase in transient traffic increases the likelihood that the wrong person ends up on one of the campuses of either school. We've seen too many times lately where this does not end well.

In addition to the safety of the schools, this Taco Bell would congest Kingston Pike traffic even worse than it already is in the area. This will end up forcing even more traffic to cut through the Westwood neighborhood, where passers through routinely drive 40+ miles per hour and endanger the lives of anyone out walking. On numerous occasions, I have been pushing a stroller through the Westwood neighborhood and nearly hit by reckless drivers who care about nothing more than getting from Kingston Pike to Northshore as fast as possible.

I don't see how a Taco Bell in this area improves the lives of anyone except the owners of the Taco Bell. This is a loss for the community and I strongly oppose the approval of this special exception.

Melanie, 37919

April 12, 2023

I am Bearden resident and Bearden Elementary School parent strongly opposed to the proposed rezoning to allow for a Taco Bell drive-through on Kingston Pike. This area is

already extremely congested at nearly all hours, and particularly during school pickup and drop-off times.

The traffic study should have been conducted at 2:45 p.m. on a school day for a true picture of how negatively a fast-food restaurant would impact an already congested and sometimes dangerous traffic situation. The school pickup/dropoff access point is mere feet from the proposed Taco Bell drive and already competes with people accessing the Zips car wash. I do not believe the close proximity to the school was adequately considered.

I also question why there was no public sign on the property alerting people to the possible rezoning. It's concerning this became known to most people in the area only in the two days before the meeting. I am also concerned at the likelihood this restaurant could be open until 2 or 3 a.m. That is not in keeping with the character of this neighborhood and would have immediate negative effects on nearby homeowners. Please do not approve this request.

Chris, 37919

April 12, 2023

See Attached Document

[View Attachment](#) Below:

This proposal will create an external obsolescence, a form of depreciation caused by factors not on the property itself, such as environmental, social, or economic forces. An example would be a very nearby garbage dump. The homeowner cannot reverse this loss in value by spending money to fix something. Per the plans the garbage site will be within 50' to 70' of the nearest property line of residents on Century Ct. in the Westwood neighborhood. The site plan aerial picture provided by Taco Bell cuts off the back right of the property line conveniently not showing the residential properties that will be affected. This property needs to be revitalized, however not with a business that is open until the early morning hours. The speaker system will be facing the rear of the property with a decibel level that will be able to be heard by the residents at all hours they are open. All other businesses within this vicinity close at a normal hour to not disrupt the residence in the evenings and overnight hours. The west bound lanes of Kingston Pike from the Westwood light to Northshore already are grid locked at all times of the day

due to Bearden elementary and other businesses creating longer than normal commute times for this small area. The business with its high daily traffic count will do nothing to help the traffic situation, but only hurt it further. This special use building will bring nothing but undue hardship to this area, not help revitalize it. The highest and best use for this location is not a special use fast food restaurant.

Mary Ellen, 37919

April 12, 2023

As a resident and business owner at 5609 Kingston Pike I strongly oppose a Taco Bell at this location. The traffic in Bearden and specifically in this area in front of Bearden Elementary is terribly congested on most weekday afternoons. I am not sure how Taco Bell could operate in-dining and a drive thru at this location as turning in and out of the area is truly challenging. I would love for the old antique mall to be removed to improve appearances in our vibrant business district but not for a business that will add more traffic chaos in our area. It is simply not a good fit. Please don't approve of this special use recommendation.

Chooi-Ping , 37919

April 12, 2023

This part of Bearden does NOT need more congestion; there is a flashing sign precisely in this area which reads: "Congested Area!" Obviously, as is the case with other local purveyors of salt, fat, and sugar which ultimately affect the health and welfare of our youth, the cars lined up for the drive-through will be out into the street blocking traffic. Please respect our well-being, safety, and environment by NOT allowing the addition of this type of outlet in such close proximity to the intersection of Northshore and Kingston Pike which already lacks adequate flow.

Flynt, 37919

April 12, 2023

I own the shopping center adjacent to the proposed Taco Bell site (Firestone). Traffic during school pick up at Bearden Elementary already causes backups that interfere with ingress and egress for our centers customers. Adding a drive through will cause even more congestion and dangerous conditions on Kingston Pike in front of our center. Look at the frequent congestion and problems caused by Chickfila a mere block away. A Taco Bell drive through will cause more of the same problems.

Robert , 37919

April 12, 2023

I am writing in opposition to 4-D-23-SU. Placing a drive through at that location makes no sense with it being one of Knoxville's most highly trafficked spots. The fact that an adjacent Neighborhood association was not sought out as a part of the traffic study is worrisome at best in terms of due diligence. True, there are existing drive throughs in this are but they are located on the opposite side of Kingston Pike where connecting side roads give alternate exit routes. This proposal will only make worse, an already miserable circumstance on Kingston Pike.

Drew, 37919

April 12, 2023

I'm writing to oppose the variance that would allow for a Taco Bell drive-thru on Kingston Pike in Bearden. As many have already noted, there's a major traffic problem, especially on the westbound section of Kingston Pike between Westwood Road and Northshore. Traffic is also a major issue in the morning and afternoons near Bearden Elementary/KAEC, and I believe adding a fast-food restaurant to that area would only make that situation worse. I'd also like to point out that a nearly 24-hour fast-food restaurant is out of character for the neighborhood. Thanks for your consideration, and I hope you'll listen to the neighbors and residents of this great area!

Chris, 37919

April 12, 2023

Taco Bell is a really crappy restaurant that devalues the land everywhere it goes. It does nothing for the health or beautification of the city. Most of Kingston Pike sucks because it's littered with unhealthy fast food restaurants that look terrible. This particular section of Kingston Pike is nice because chains like Taco Bell are absent. Please do not let this go forward

Janetta, 37919

April 12, 2023

Thank you for hearing feedback from the community as these changes directly impact our lives and ability to function in our neighborhood and, in this, case school. This area is already ridiculously congested, and a fast food drive through would lead to further traffic and disruption of the school zone which, of course, would impact the school's ability to function efficiently and drop off and pick-up times. Even outside of these times during the weekday lunch rush, the traffic is insane. This is an absolute terrible idea for the area.

Dayton , 37919

April 12, 2023

Concerning the proposed zoning change for a Taco Bell at this area of Kingston Pike is absurd. This would only add to the horrible traffic situation that has long plagued drivers trying to navigate this stretch of road. Safety for pedestrians, first responders and adjoining neighborhoods already overrun with speeding cars cutting through. Spend your time fixing long standing traffic problem instead of adding to it.

David, 37919

April 12, 2023

I strongly oppose the proposed special use for a Taco Bell drive-through at 5613 Kingston Pike and ask that you deny the application. Please see attached letter. Thank you for your consideration.

[View Attachment](#) Attached separately

Nell, 37919

April 12, 2023

I am a business owner at 5609 Kingston Pike and oppose Taco Bell's proposed new location next to our center. The weekday traffic in Bearden is already congested and not conducive for a fast food restaurant. We do not want to add to our current challenges with traffic and parking affecting our business.

Melanie, 37919

April 12, 2023

I have been a resident of Westwood / Bearden for over 20 years and strongly oppose the use of this property for a Taco Bell. The resulting traffic would compound an already challenging traffic situation and present other issues such as noise, late night lighting and disturbance for the surrounding community. A Taco Bell at this location is not needed; particularly in consideration that another Taco Bell is nearby.

Kathleen L., 37919

April 12, 2023

Please reconsider approving a Taco Bell for the old Cass Walker location in Bearden. Our Westwood subdivision cannot support the additional traffic and trash that type of business creates. We already have one way streets and calming humor that are ignored by many "cut through" travelers. That section of Kingston Pike garners horrendous

traffic at times and, in addition, is right next to elementary and adaptive center schools. The traffic through that area has nowhere to go for relief and actually gets much worse when I-40 is backed up. There are already several banks and mini shopping centers for cars to try to navigate along that congested corridor. The noise from late night events filters through the neighborhood, also, and Taco Bell is proposing to be open very late at night. The closeness to two schools and the neighborhood plus a very busy section of Kingston Pike is detrimental to all. Please deny the Taco Bell proposal. Thank you.

Rachel, 37919

April 12, 2023

Please see attached pdf letter. Thank you.

[View Attachment](#) Below:

April 12, 2023 To: Members, Knoxville-Knox County Metropolitan Planning Commission
Re: Case 4-D-23-SU/5613 Kingston Pike Good afternoon. I am writing to express my extreme concern regarding the proposed location of a drive through fast food restaurant at 5613 Kingston Pike. I am a resident of the Westwood subdivision directly north of the proposed location. I—and many other Westwood residents—only learned of this proposal yesterday (4/11/23); I was not informed by the City, but by a neighbor. According to multiple residents a notice has not been posted at the proposed location. I believe locating a drive-through restaurant on this stretch of Kingston Pike is a tremendous mistake for several reasons, including its proximity to both Bearden Elementary School, Knoxville Alternative Education Center, and the Greenway. Traffic on Kingston Pike through the Bearden area is already sufficiently congested to warrant signage warning of the traffic conditions in the immediate vicinity of the proposed restaurant; adding a drive-through restaurant will only exacerbate the issue. Commissioners may not be aware of the significant cut-through traffic we experience in Westwood. Adding this restaurant would exacerbate that problem. The Westwood HOA Traffic Committee has been working with the City of Knoxville Neighborhood Traffic Safety Program to develop calming measures for our neighborhood; approving this proposal seems counterproductive to those efforts. I am unable to attend tomorrow's meeting due to a work commitment. Many other residents and I have shared objections on the Planning Commission website, but I wanted to also express them to the Commission directly. Thank you for your time and your service to our community.
Rachel Fleming-May 121 Greenbrier Drive Knoxville, TN 37919

Kara, 37919

April 12, 2023

Please do not put a Taco Bell where the antique shop is. First of all, Knoxville has a real problem with tearing down buildings that have character in favor of uniform corporate buildings. A Taco Bell would take away the distinct character of the Bearden neighborhood. Second, as a parent, resident, and employee in the area, I believe a Taco Bell would negatively impact school traffic, which is already an issue. Third, we should not have so much junk food available directly across from two different schools. This sends a bad message to the children I teach.

Allison, 37924

April 12, 2023

Please do NOT put a Taco Bell beside the car wash on Kingston Pike. Our school and another school's entrance is already blocked and crowded from the car wash at times. This would make traffic even more ridiculous. Also, our students are SPEd and emotionally disturbed. We often have students who elope from campus and I feel as if the Taco Bell would be a huge disaster for our school.

Karen, 37919

April 12, 2023

Having a Taco Bell in the proposed location is not a good idea for our school. We along with Bearden Elementary are on the hill behind the proposed site. We are a special ed school with grades K-12. There is already a traffic problem especially during dismissal time. Vehicles are lined up and down Kingston Pike in both directions. Having Taco Bell there would make it even worse and also it would be hard to access it. Being a special ed school we have had students to try and run from school. Having a Taco Bell there would be added danger with the amount of traffic it would add. I do enjoy Taco Bell but believe that this is not a good decision to approve.

Jessica, 37919

April 12, 2023

Please do not grant this request. This area is insanely congested and this addition to the businesses would endanger children coming and going to school and parents during pickup and drop-off time and special events. Adding a drive-through restaurant in this location would add significantly to the traffic and those crossing Kingston Pike to turn left against horrendous traffics. Please, make the priority the safety of children at Bearden Elementary. Going to school as a child and parent should not be unsafe. Unless traffic plans have a new way to reroute the excess of cars, the proximity of this business to the intersection at Northshore would make getting through Bearden even more frustrating. It's already at a fever pitch; let's not contribute to it through a business with frequent high traffic.

Beth, 37931

April 12, 2023

Please do not allow this to be rezoned for commercial use/drive through. I am an employee at Knoxville Adaptive Education Center which is located directly beside this property. We share a driveway with Bearden Elementary School. During drop off and dismissal, car lines are very busy, extending onto Kingston Pike. I am concerned that the addition of a drive-thru will only increase this traffic.

As well, we work with a population of students who at times are very impulsive and explosive due to emotional disregulation and at times fight/flight/freeze they may elope from building towards Kingston Pike. More traffic in this area may cause a huge safety risk.

Please take these student's safety into consideration.

Sera, 37917

April 12, 2023

My child is a transfer student to Bearden Elementary and a Taco Bell at this location would be adding more congestion to an already congested area. Travel time on this stretch of Kingston Pike is always dicey but at peak times like school drop off, lunch, school pickup and rush hour it often becomes a stand still. Traffic overflows into the surrounding neighborhoods making another traffic issue. Please don't exacerbate an already untenable situation. Thank you.

Jordyn, 37919

April 12, 2023

As a staff member at Knoxville Adaptive Education Center, I feel as though Taco Bell being built at our doorstep is a major safety concern for our students as well as causing significant traffic in an already busy area for the school.

Chantelle, 37919

April 12, 2023

As a follow up to my earlier submission, I would like to know if Pat Phillips is currently serving as board member of the Westwood HOA as his MOC bio indicates. I can not understand how he would have failed to communicate this to Westwood residents and/or the neighborhood Traffic committee as a matter of courtesy and duty to both organizations. I serve on the Westwood Traffic committee and have been a resident of Westwood for 22 years. I have been working closely with city officials and other neighborhood representatives for 3 years on the committee to reach resolution on our traffic concerns and know of nothing official that has been communicated to our committee about the planned development.

Jarrold, 37919

April 12, 2023

I oppose the Taco Bell in our Bearden neighborhood. A chain restaurant with a late night drive through will do nothing for the needs of our neighborhood. Pedestrian safety and decreased traffic volume being at the top of the list.

Kathryn , 37919

April 12, 2023

My husband and I have lived in the Bearden area since 2001 and we have seen traffic become worse and worse over the years. Most afternoons traffic is backed up well past the red light at Westwood and Kingston Pike and the addition of this Taco Bell would only make that traffic worse. Because of the traffic backup on Kingston Pike more local traffic is being directed through Westwood neighborhood and down Sutherland Avenue where cars drive exceedingly fast endangering pedestrians on the Greenway. I strongly oppose the addition of this Taco Bell and especially the drive-thru. I also believe that this is a hindrance to traffic in front of Bearden Elementary and KAEC.

Rob, 37919

April 12, 2023

The section of Kingston Pike being considered for this development is one of the most notoriously congested in West Knoxville. So much so that the city has placed a flashing sign warning of congestion 100 yards East of the proposed site. If the city/state cannot do anything to alleviate the cause of the congestion - namely the Northshore/Kingston Pike intersection- but see it as enough of an issue to erect a sign, it stands to reason the planning commission might be the type of body that prevents additional traffic and ingress/egress at that spot. Literally any other section of Kingston Pike upstream or down is better suited to handle a development of this sort. The study states that 18 cars

can be in queue in the drive through line before the queue would block traffic. When you consider cars have to be able to egress from the site for that line to move, this seems like a recipe for additional gridlock. If this were a stand alone restaurant my opinion might differ- but a high volume drive through is particularly unsuited for this location.

peter , 37919

April 12, 2023

I am a resident of the Westwood, just behind this location.

Team knox,

I am not a NIBY (not in my backyard) as I am very pro business and love this town.

This is not the right space for this location with a drive-thru. This stretch of Kingston is not conducive to cross street traffic and this in tight in between two traffic lights already.

I do understand that the property owner would like the consistent revenue of a national brand in the space but this is not the one. I would request that you fully consider all of the impacts of this.

Knox lover, BES father of 2, Westwood resident and daily kinston pike traveller in this location.

cheers

Peter glander

Linda, 37919

April 12, 2023

Along with my neighbors, I strongly oppose allowing a Taco Bell to build on the site of the derelict antique store. I have lived in Westwood for 51 years and have seen the traffic count increase every year. The traffic back up during peak hours including lunch time is terrible. Increasing the traffic due to a fast-food restaurant with a drive through is not in the best interest of the community. I ask the Planning Commision to deny the application.

Bob, 37919

April 12, 2023

Please do not vote for this new business in this location. Bearden is jammed up enough through the Kingston Pike corridor. Putting this right next to a school and in an area with constant congestion will be a huge mess. I love Taco Bell burritos, but not here.

Lyubov, 37919

April 12, 2023

As a resident of the Westwood neighborhood and a family nurse practitioner, I object to placing a fast food restaurant Taco Bell in the place of Antique Mall from the public healthcare perspective because of 3 reasons:

1) Increased obesity. Many studies show that placing fast food restaurants in proximity to a school or a neighborhood increases the rates of obesity in school children and residents.

2) Worsened air quality. Increased traffic congestion will lead to a worsening of the air quality that can exacerbate many chronic health conditions of the school children and residents of Westwood.

3) Increased light and noise pollution. "4th Meal" or business until

3 or 4 am will create more light and noise pollution that would adversely affect the health of the Westwood residents.

As a Westwood resident and a public health advocate, I strongly oppose placing Taco Bell next to the school and bordering a residential neighborhood because it will increase rates of obesity, and traffic congestion, worsen air quality, and increase light and noise pollution. All of these reasons will adversely affect the health of school children and residents.

Sincerely,

Dr. Lyubov Lee, ND, FNP-BC
Naturopathic Doctor
Family Nurse Practitioner

Julie, 37919

April 12, 2023

I am writing to oppose the proposed Taco Bell drive-thru that will replace the old Cas Walker grocery store in Bearden. As a resident of Westwood for 19 years, I have witnessed a steady increase in traffic around our neighborhood and through our neighborhood, and the continued poor planning of the city to effectively address our traffic issues. Adding such a high-profile business, with long operation hours, would only exacerbate the traffic congestion in Bearden and will likely produce more cut-through traffic in our neighborhood.

Cynthia , 37919

April 12, 2023

As a longtime resident in Bearden I can't think of a worse business to put in this location. Traffic is already congested and with nearby homes being subjected to a drive through with cars idling adding more noise and pollution. Please do not allow this change. It does impact the wellness of this community.

Lauren, 37919

April 12, 2023

Thank you for your time in reading this message. As a Westwood neighbor and Bearden Elementary parent, I would love to see the old, antique building space used in a different way than a Taco Bell. I believe there are better suited places for a busy drive-thru than that extremely congested area. Thank you again for your listening ear!

Elizabeth, 37919

April 12, 2023

I opposed this development due to the amount of traffic and congestion already present at the proposed site.

Terry , 37919

April 13, 2023

Approval of the proposal for a Taco Bell will create another traffic disaster similar to Bearden's Chic Fila. The location is near our elementary school and the greenway where bikers and runners cross to continue to Lakeshore. Neighborhood residents from Sequoyah Hills, Westwood, Lyons View, Sutherland Heights and Forest Heights residents worked with MPC to create a Bearden Village Pedestrian Village Plan in 2001. Bearden residents continued their 20 years of work to add greenways and sidewalks to create a safe and pleasant pedestrian area by adding a new Everly Brothers Park at a

KAT transfer stop . We hope that planners will continue to contribute to our 20 years of efforts to keep our residents, developers and business owners enthusiastic about making Bearden an example of good planning.

Zo, 37919

April 13, 2023

The planning and building of a Taco Bell (or any fast food restaurant) at this location of Kingston Pike would be a stressor on the surrounding neighborhoods, schools and workers in the nearby area that is not necessary.

For one, there are plenty of fast food restaurants in the area, including a taco bell another 5 minutes down Kingston Pike!

Secondly, the traffic is already congested there 3 times per day. You would be causing more traffic issues because people would be creating lines in the lanes of Kingston Pike (they already do this at the Chick-Fil-A 1 mile east of this location).

Lastly, there are already close calls with accidents from people turning left out of Zips Car Wash and other north side Kingston Pike businesses and this would only add to it.

As someone who has Taco Bell every now and again, I am opposed to this proposal and I believe that no fast food restaurant should take over this specific area of Kingston Pike.

Sarah, 37919

April 13, 2023

I would like to state my opposition to the Taco Bell proposal at this location. I am a parent of Bearden Elementary student and can attest that traffic in this area is already

very congested. During school pickup it is already a standstill going West on Kingston pike and I often have to wait to turn into the schools driveway or small parking circle because cars do not leave driveways clear. Adding additional cars turning on and off the road at that already chaotic, poorly planned block would be even more dangerous for cars not to mention families on foot. An eat in restaurant or retail establishment would be a much better fit for this space. Please do not allow a Taco Bell in front of our school.

Kristen , 37919

April 13, 2023

I am a Knoxville native and grew up going to Bearden Elementary and my children are currently zoned to attend there as well. I have concerns about adding an establishment that will inevitably bring in a lot of traffic in an already busy school zone. As with other fast food drive throughs in that area (Chik-fil-A for example), the traffic frequently backs up into Kingston Pike. I am concerned about the safety and efficiency of our children coming and going from school. Please take these comments into consideration. Thank you

Beth, 37919

April 17, 2023

I live in Forest Heights and my children attend Bearden Elementary School. While I enjoy Taco Bell and have no objections to adding one in the Bearden area, I am strongly opposed to adding one in the proposed site. The traffic in our area is already outrageous. Simply turning in and out of the school parking lot is already incredibly difficult, I can not imagine how much worse it will be if drive-thru restaurant of any kind is added in the proposed location.

I am not certainly not against development and generally have no qualms with it, but I beg you to consider the ramifications for those who live in the area. Please do not

hinder our ability to safely take our children to school. If this is approved it will have ripple affects on locals, particularly families with children at Bearden Elementary School and Knoxville Adaptive Education Center.

Thank you for your consideration.

Christopher , 37

April 25, 2023

No need for a Taco Bell at the proposed location on Kingston Pike.

Increasing traffic by a school is Dangerous.

There is another Taco Bell within a mile.

There are many alternative locations.

Papermill rd. By Waffel House are several locations , to serve the same demographic area. With I-40 visibility and exit/entrance ramps, Hotels , increasing Taco Bell chances of revenue.

Thank you

Christopher Wren and Bella Wren

Michael, 37919

April 25, 2023

Bearden is a wonderful, historic district. It has a unique charm and stands out from the "normal" communities that are popping up all over the US. People come here for that

unique character. Adding more fast food restaurants does nothing to improve the quality of our community. Kingston Pike in Bearden has very heavy traffic. Adding a new drive through fast food restaurant will only contribute more to the congestion and noise. Bearden currently has a Chick-fil-a right next to Kroger. During lunch time, that single fast food restaurant contributes to gridlock. Often times, the 4-lane road is reduced to 1 or 2 lanes simply because of the line of cars going to Chick-fil-a. Bearden needs sit down restaurants, not fast food. There is not a shortage of fast food restaurants in Knoxville. There's a Taco Bell within a mile or two of the location in question; why do we need another one? Let's use that space to put in something that would add value to the Bearden community, not something that is going to lower the quality of everyone's lives who live in the area.

Stephen, 37919

April 25, 2023

Stopped traffic waiting in line frequently blocks the right lane of Kingston Pike just up the road at Chick Filet. People are frequently blocked from turning left off Newcomb because people stop in the street waiting to turn into the Smoothie King. Traffic trying to reach the KP/Northshore intersection frequently backs up past the proposed location for Taco Bell. This traffic is as bad as the Cumberland Ave intersection where the CookOut had to close their Cumberland Ave entrance.

Ellen, 37919

April 25, 2023

My husband and I adamantly oppose the construction of a Taco Bell in this area. It destroys the feel of the neighborhood and is a great safety concern as well.

Sarah, 37919

April 25, 2023

I am an elementary school counselor that lives in Rocky Hill. I used to work at Bearden Elementary but I still drive home by there every day when I leave Pond Gap El. The traffic in the Bearden area has become increasingly busy and hectic! It's taking away from the charm of the Bearden community. Adding a Taco Bell not only would be an additional eye-sore but it would only make things even more chaotic in that stretch. As a community member and school employee, I oppose this new business idea.

Janet , 37919

April 26, 2023

I oppose this drive through. As both a community member living in the Bearden area and as a employee of KCS I drive this area and parking lot regularly. I serve both schools as a related service provider and can attest to the already strained narrow driving area that exists between the two schools. And in addition, KAEC, as you well know as a special education school for students with emotional disturbances. The students frequently flee the school due to their emotional issues, and can be at risk, further, with the addition of an increase traffic nightmare that the Taco Bell drive-through would most definitely impact. In addition, KAEC is used during the summer for Knox county is extended school year program for every special ed kid in the district. The students require special consideration, which is why the site was chosen in the first place. I would encourage you to contact Knox County schools to discuss this matter further with administration before proceeding to grant Taco Bell access to that area. They may even want to purchase the property themselves.

Sabine , 37919

April 26, 2023

I oppose this location for a Taco Bell, really for any fast food. This area already is very congested during peak times and this would add to it. I would like to see this spot used for a shop not fast food that increases traffic.

Rebecca, 37909

April 26, 2023

I am appalled at the prospect of having a fast food establishment within such close proximity of our elementary school! This is an obvious choice for Taco Bell as it gives them a nearly captive audience of customers. Having raised two children with busy schedules, giving into the convenience of fast food is a battle in and of itself. Let alone when the location adjoins the school driveway. Not to mention there is literally another Taco Bell 2 miles away on the same road. Moreover, the traffic issues at this location are already atrocious. A drive through will create more opportunity for drivers to become distracted while approaching the elementary school. I oppose the building of a Taco Bell in this location for the health and safety of our children.

Susan, 37919

April 26, 2023

As Bearden resident, I strongly disapprove of a Taco Bell going in the location of the former antique mall. First of all it would be a constant issue with student drop off and pickup at Bearden elementary and secondly the traffic is all a constant issue in this area with bumper to bumper traffic. This would be a constant source of frustration with backups due to the drive through and cars trying to turn against traffic upon exiting.

Ryan, 37919

April 26, 2023

This stretch of Kingston pike is already very congested and I'm concerned at a drive thru would increase traffic. My office is within a few hundred yards of this and I regularly bike to work via the Bearden & Third Creek Greenways. I'm concerned that a fast-food restaurant would also affect the people who regularly use that greenway by increasing noise, unwanted smells, and traffic.

Shannon, 37919

April 26, 2023

I love this idea! We need to remove these blighted and dilapidated buildings full of homeless people and turn them into productive sites. We need jobs! We need businesses! We DO NOT need more empty buildings that attract crime and vagrants! I appreciate the developer taking action to improve our community!

Maria, 37919

April 27, 2023

To Whom It May Concern,

I am opposed to a drive through eatery at the site proposed by Taco Bell. For one thing, they already have a location near Westtown Mall and another one on Cumberland Ave.

That sort of a business will only add to the horrendous congestion that is that section of Kingston Pk

This sort of business , like the Zip's drive through car wash, interferes with the schools' (pick up and drop off) traffic, of both Bearden Elementary and KAC.

Please think and take consideration for the safety of the parents, grandparents, and children that navigate that area on a daily basis during the school year.

An example of drive through congestion is the Chick-Filet by Kroger's a few blocks to the east of your proposed drive through location, where the right lane and the turning lanes at times block the flow of traffic on Kingston Pike.

We need housing, rather than another drive thru.

I would appreciate that you would take my concerns to heart, as you well see, I live in the neighborhood of this proposal and drive thru traffic so close to schools, traffic turning lanes, will just add to more wrecks, near misses, less walkable, and more headaches to those of us who live near that property.

Sincerely,
Maria Gall

Sam, 37918

May 1, 2023

I support the change of use for this property. It is currently in extreme disrepair and has become a homeless hotspot. I believe a Taco Bell would significantly improve the area. The traffic caused by the elementary school is unavoidable at certain times of the day which isn't during the "busy" times for Taco Bell.

Alexis, 37919

May 3, 2023

As much as my family like Taco Bell, this location I'm not close to ideal. The traffics going from East to West right there, toward Northshore is awful. Also, having a fast food drive through in this area is not really in keeping with the area. The signage, lights,

traffic, noise from drive through with late and long hours, will be a sad thing to see in the area.

Janetta, 37919

May 5, 2023

Thank you so much for taking comments and considering the impact of the proposed changes on the community who lives here. As I am sure you are aware, this is a highly congested area even outside of typical rush hour times. As one who dwells in the adjacent neighborhood and as a parent who has a child in the nearby school, I cannot stress enough what a disaster a fast food drive through will present for us in addition to the traffic challenges we already must navigate. As a long time Taco Bell customer, I can assure you that this is a cumbersome location that I would not consider patronizing as it is too much hassle. There is another local Taco Bell location that I avoid for the same reason; I always choose a more conveniently located establishment even if I prefer the product. The design of Taco Bell drive throughs prevent "escape" and will certainly create backups into the already congested stretch of Kingston Pike. I don't think this move is good for the company or the community. Please consider another even nearby location if at all, perhaps on the other side of Kingston Pike that will not have to compete with school traffic. There has to be a better solution. Again, thank you for considering our comments.

Sara, 37919

May 8, 2023

I oppose the Taco Bell request. We don't need the noise or the traffic that come with a drive through restaurant. It is too close to a residential neighborhood and open too late at night. Please vote against this proposal.

Brent, 37919

May 9, 2023

As a business owner in Bearden I WHOLLY SUPPORT this improvement. After reviewing the documents and listening to the developers I think they should be applauded for their efforts to improve this site and this stretch of Kingston Pike.

Barbara , 37919

May 9, 2023

I'd be happy to see a Taco Bell!

Graham, 37919

May 9, 2023

We are very concerned about the potential drive thru restaurant being added to the front of our neighborhood. This area is already burdened with excessive traffic and especially high cut through traffic. Adding a drive thru on the south side of Kingston Pike in this area is guaranteed to escalate this problem.

On top of the traffic, the drive through will add more, new noise for the front of the neighborhood with running cars, and a speaker into the night. We all know that a later crowd is attracted to a drive thru and this will be disruptive to residents trying to have time with their family or trying to sleep.

This aligns with the existing zoning that prohibits the drive thru today. There have been no changes to the area or our neighborhood that warrants changing the existing zoning, that was put in place to protect the area; the neighborhood, the nearby schools, etc.

Please consider our neighborhood and the residents that have been here for years. We

rely on our local governments to protect our neighborhoods and our investments we've made in our homes.

William, 37919

May 9, 2023

The proposed Taco Bell is the best option. Traffic will not increase significantly as the traffic visiting the Taco Bell is traffic already here. The presence of three stores nearby will keep traffic in their zones. The length of the "driveway" feeding into dual drive thru lanes is long enough to prevent stacking of cars onto the pike. This will bring jobs, and a good late night meal option for workers at Bearden' bars. The current building is an eyesore and encourages illegal activity. I encourage you to vote to allow this Taco Bell

Paul, 37919

May 9, 2023

I live in this area and drive this section of Kingston Pike every day. Based on the data presented, I have serious concerns about the traffic impact on this section of Kingston Pike. It is already HIGHLY trafficked throughout the day, with traffic backed up from Northshore all the way to where this Taco Bell is being proposed. I also have concerns as a resident about the noise, traffic, and safety issues for Westwood, which will be used as a cut through to access this restaurant. We already contend with LOTS of traffic through the day, but now to have our neighborhood used as a cut-through for a 24-hour fast food restaurant will have a VERY adverse impact.

For these reasons I am strongly opposed to this proposal.

Finbarr, TN

May 10, 2023

Monday's meeting emphasized the appearance of this blighted property; no one we've talked to believes the building should be saved. Our objection is that it is an inappropriate use of this property.

I have been a member of the Bearden Council since its inception. Some twenty years ago, we coordinated with neighborhoods, businesses and developers to create the Bearden Village Opportunities Plan*. This plan calls specifically for mixed-use. Recent re-coding has allowed for this and even encourages density through more height (3 to 5 stories) in order to make better use of our urban lands. The Bearden Council has supported Tony Cappiello in the past when he has embraced this concept as evidenced by this excerpt from an article in the Knoxville Focus by Mike Steeley:

"The Council is behind the efforts of a local developer, Tony Cappiello, to establish a "mixed use" zoning in part of their neighborhood."

As neighbors, we support projects that will improve our Bearden neighborhood. We do not believe another Taco Bell will do this.

[View Attachment](#)

Janetta, 37919

May 10, 2023

Thank you again for receiving comments from members of the community who are most affected by this proposed project since my schedule has not allowed attendance at a meeting. I cannot express enough what a potential disaster this is. The traffic is already a significant challenge for travel out of the neighborhood toward West Knoxville. Additional vehicles attempting to access a fast food drive through will only worsen an already cumbersome stretch of road. The current congestion is undeniable, and it's naive and/or dishonest to suggest that this change will not negatively impact the adjacent neighborhood and school. I am sure this move benefits someone, who is likely

unaffected by the increased traffic, but at what cost to the rest of us who are just trying to function in our daily lives? At some point, we admit the truth and make the move that considers the greater good for the greater number. Taco Bell will remain in business if not right here in this most congested spot, and developers will still make plenty of money to allow themselves to enjoy their lives as we are trying to do in our community. Thank you again for hearing our concerns. Please don't make it harder for us.

Ashley, 37919

May 10, 2023

As a resident Westwood and mom of two children at Bearden Elementary School, I am strongly opposed to the proposed Taco Bell drive-thru going in front of our neighborhood and two schools on Kingston Pike. The current traffic congestion in this area of Kingston Pike is already a nightmare and adding a high traffic business will only add to this problem. This area is highly trafficked and is constantly backed up during school drop off / pick up, rush hour and when the interstate is experiencing traffic issues. The car rider line currently pulls off Kingston Pike in this proposed area and if this space is occupied traffic on Kingston Pike will be stopped between 2:30 and 3:00pm. There is currently a Taco Bell less than two miles from this proposed site. Please reconsider locating this business here - the neighborhood, schools, and those commuting down Kingston would be negatively impacted. Thank you!

Leslie, 37919

May 10, 2023

Their traffic numbers are wrong.

They compared trips to a sit-down restaurant the size of the existing 17000+ square foot building, not a typical 5000square foot restaurant like the local Applebee's.

Please read the attached analysis.
[View Attachment](#) Attached separately

Miller, 37919

May 10, 2023

Please see the attached file with the upcoming speed hump approval plan from Knoxville City and Office of Neighborhoods. These will be installed in July 2023 due to existing traffic concerns from the neighborhood (and the City) and a completed traffic study from the City Engineering Office.

[View Attachment](#)

Chantelle , 37919

May 10, 2023

I have submitted via email (due to the length) new comments on the proposal.

Sarah, 37919

May 10, 2023

My concerns with the Taco Bell drive through are the heavy traffic on Kingston Pike and the undesirable amount of cut through traffic we already experience in Westwood including drivers going the wrong way on one-way streets and speeding. Our neighborhood has just recently completed a traffic study to help eliminate this cut through traffic. Our neighborhood is also already prone to burglaries which I can imagine will increase with more traffic coming through during these late hours. Walking in our neighborhood is difficult and not very safe with the aforementioned traffic concerns. This is our home and we'd like to enjoy our neighborhood without the constant flow of non-resident traffic.

Cars turning left onto Kingston Pike from the Taco Bell will increase accidents. With this being our everyday route to and from school and everyday lives with elementary aged children, that does not make me feel safe.

I am disappointed that the city did not require Taco Bell to do a traffic study. The traffic at the Northshore/Kingston Pike intersection has been a nightmare for too long and my understanding was that the city was working on solutions. This is the main cause for our cut-through traffic. Adding a drive through to the mix seems like a setback.

In support of my neighbors that live closest to the drive through, the noise and trash and lights and late night visitors is very concerning.

The Planning Commission met in regular session on May 11, 2023 at 1:30 p.m. in the Main Assembly room of the City County Building.

Item No.

File No.

1. ROLL CALL, INVOCATION AND PLEDGE OF ALLEGIANCE

Ms. Karyn Adams	A Ms. Nancy Barger	A Ms. Tamara Boyer
Mr. Louis Browning	Mr. Logan Higgins	Mr. Tim Hill, Chair
** Mr. John Huber	Mr. Richard Levenson	Ms. Amy Midis
Mr. Chris Ooten, Vice Chair	Ms. Marité Pérez	Mr. Patrick Phillips
Mr. Jeff Roth	Mr. Nathaniel Shelso	Mr. Eddie Smith

* Arrived late to the meeting, ** Left early in the meeting, A – Absent from the meeting

10. TACO BELL OF AMERICA, LLC (ROBERT SULLIVAN)

4-D-23-SU

5613 Kingston Pike / Parcel ID 121 B B 035. Proposed use: Restaurant with drive-through in C-G-1 (General Commercial) District. Council District 2.

Commission approved additional time to both the applicant and opposition, the amount of time not specifically identified at this juncture.

1. STAFF RECOMMENDATION

Approve the request for a drive-through facility in the C-G-1 zoning district, subject to 6 conditions.

2. MOTION (ROTH) AND SECOND (SMITH) WERE MADE TO APPROVE PER STAFF RECOMMENDATION.

MOTION CARRIED 8-5 (NO SHELSON, PEREZ, HIGGINS, ADAMS, MIDIS). APPROVED

Knoxville NEWS SENTINEL

PART OF THE USA TODAY NETWORK

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 400 W MAIN ST # 403
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<u>Account</u>	<u>AD#</u>	<u>Net Amount</u>	<u>Tax Amount</u>	<u>Total Amount</u>	<u>Payment Method</u>	<u>Payment Amount</u>	<u>Amount Due</u>
1317419	0005723882	\$56.16	\$0.00	\$56.16	Invoice	\$0.00	\$56.16

Sales Rep: HSmith

Order Taker: HSmith

Order Created 05/31/2023

<u>Product</u>	<u># Ins</u>	<u>Start Date</u>	<u>End Date</u>
KNS-knoxnews.com	1	06/02/2023	06/02/2023
KNS-Knoxville News Sentinel	1	06/02/2023	06/02/2023

* ALL TRANSACTIONS CONSIDERED PAID IN FULL UPON CLEARANCE OF FINANCIAL INSTITUTION

Text of Ad: 05/31/2023

PUBLIC NOTICE

The following item will be considered by the Knoxville City Council on June 27, 2023 at 6:00 p.m. in the Main Assembly Room, City County Bldg., 400 Main St., Knoxville, TN. For information related to this item, visit KnoxPlanning.org/agenda. If you need assistance or accommodation for a disability, please contact the City ADA coordinator at (865) 215-2104.

APPEAL OF DECISION

Appeal by Roderick Ledbetter of the Knoxville-Knox County Planning Commission's approval of the Special Use for Taco Bell of America, LLC (Robert Sullivan) for a drive-through facility in C-G-1 (General Commercial) District for property located at 5613 Kingston Pike / Parcel ID 121 B B 035, Council District 2. Planning Commission File. No. 4-D-23-SU.



SPECIAL USE REPORT

▶ **FILE #:** 4-D-23-SU **AGENDA ITEM #:** 10
 POSTPONEMENT(S): 4/19/2023 **AGENDA DATE:** 5/11/2023
 ▶ **APPLICANT:** TACO BELL OF AMERICA, LLC (ROBERT SULLIVAN)
 OWNER(S): Peoples Development Company, Inc. Peoples Development Company, Inc.

TAX ID NUMBER: 121 B B 035 [View map on KGIS](#)
 JURISDICTION: City Council District 2
 STREET ADDRESS: 5613 KINGSTON PIKE
 ▶ **LOCATION:** North side of Kingston Pike, west of Westwood Rd
 ▶ **APPX. SIZE OF TRACT:** 1.02 acres
 SECTOR PLAN: West City
 GROWTH POLICY PLAN: N/A (Within City Limits)
 ACCESSIBILITY: Access is via Kingston Pike, a major arterial with a pavement width of 55-ft within a right-of-way width ranging from 62 to 80-ft.
 UTILITIES: Water Source: Knoxville Utilities Board
 Sewer Source: Knoxville Utilities Board
 WATERSHED: Fourth Creek

▶ **ZONING:** C-G-1 (General Commercial)
 ▶ **EXISTING LAND USE:** Commercial
 ▶ **PROPOSED USE:** Restaurant with drive-through facility

HISTORY OF ZONING: None noted
 SURROUNDING LAND USE AND ZONING: North: Public/quasi-public, Single family residential -- INST (Institutional), RN-1 (Single-Family Residential Neighborhood)
 South: Kingston Pike, Commercial -- C-G-1 (General Commercial)
 East: Commercial -- C-G-1 (General Commercial)
 West: Public/quasi-public, Commercial -- INST (Institutional), C-G-1 (General Commercial)

NEIGHBORHOOD CONTEXT: This property is adjacent to the Bearden Elementary School campus and the Bearden Village Greenway runs along the north boundary. The development in the area include a mix of commercial and office along Kingston Pike, and low-density residential to the north.

STAFF RECOMMENDATION:

- ▶ **Approve the request for a drive-through facility in the C-G-1 zoning district, subject to 6 conditions.**
1. Meeting the requirements of principal use standards for drive-through facilities (Article 9.3.F) of the City of Knoxville Zoning Ordinance.
 2. Meeting the requirements of Article 13 (Signs) of the City of Knoxville Zoning Ordinance.

3. Installation of landscaping per the requirements of Article 12 (Landscaping) of the City of Knoxville Zoning Ordinance, including the Class B buffer yard required by the principal use standards for drive-through facilities (Article 9.3.F.5). The proposed landscape plan requires Alternative Landscape Design (ALD) approval because the required 20 ft width is not provided in all locations where it is required. If the ALD is not approved, the site design must be modified to accommodate the required buffer width and may require a new Special Use approval if the site design changes significantly.
4. Meeting all applicable requirements of the Knoxville Department of Engineering.
5. Meeting all applicable requirements of the Tennessee Department of Transportation.
6. Meeting all other applicable requirements of the City of Knoxville Zoning Ordinance.

With the conditions noted above, this request meets the requirements of C-G-1 zoning, the principal use standards for drive-through facilities, and the criteria for approval of a special use.

COMMENTS:

This is a proposal to construct a drive-through facility for a new restaurant at this site. There are two existing structures; a large multi-tenant commercial building and a small single-tenant building. The larger building is proposed to be demolished, and the new parking lot will accommodate parking for the small commercial building as well as the new restaurant. The parking between the small building and Kingston Pike can be removed.

To the rear of the subject site are the Bearden Elementary School campus, Bearden Village Greenway, and the Century Court / Westwood residential neighborhoods. The subject site is approximately 10 ft lower in elevation than the referenced uses to the rear, which will help buffer the drive-through use from those properties. In addition, the principal use standards for drive-through facilities require a Class B buffer yard and a 6 to 8-ft tall opaque wall or fence when abutting a residential district, a public park, or a primary or secondary educational facility. The lower site and the required landscape buffer yard and fencing will help lessen nuisance issues from light and noise to nearby properties.

This section of Kingston Pike is congested and can be challenging to turn left onto when not at a controlled intersection. A transportation impact letter was provided by the applicant to evaluate the access point to Kingston Pike, as requested by staff (see Exhibit B). The study concludes that there are no horizontal or vertical intersection sight distance deficiencies when a driver is looking in both directions on Kingston Pike. No other deficiencies were identified.

An access to Bearden Elementary is along the western lot line of the subject property. The driveway for the proposed use is on the opposite side of the subject property, which will help reduce conflicts.

STANDARDS FOR EVALUATING A SPECIAL USE (ARTICLE 16.2.F.2.)

1) THE USE IS CONSISTENT WITH ADOPTED PLANS AND POLICIES, INCLUDING THE GENERAL PLAN AND THE ONE-YEAR PLAN.

A. The One Year Plan and Sector Plan designation for this parcel is MU-SD, WC-1 (Bearden Village). This special mixed use district references the Bearden Village Opportunities Plan (2001), which recommends transitioning the Bearden area to a more pedestrian-oriented, mixed-use district. The recommendations for pedestrian-oriented development, however, were centered around the Homberg Place area to the east. The subject property is in the "Kingston Pike Commercial Corridor", which recommends orienting buildings toward the sidewalk with parking to the rear, incorporate a mix of uses, tree plantings along sidewalks and within parking lots, and reduce parking requirements (see Exhibit A). Since 2001, the zoning code has been updated and the tree plantings and reduced parking have been codified. The structure is oriented toward the street, as recommended, but the parking is to the side of the structure and the exit of the drive-through lane passes between the front of the building and Kingston Pike.

2) THE USE IS IN HARMONY WITH THE GENERAL PURPOSE AND INTENT OF THIS ZONING CODE.

A. The C-G zoning district is intended to provide for a heterogeneous mix of retail, personal service, office and residential uses within and along Knoxville's commercial nodes and corridors. Drive-through facilities may be permitted as a special use approval.

B. With the recommended conditions, the drive-through facility meets the principal use standards for drive-through facilities (Article 9.3.F).

3) THE USE IS COMPATIBLE WITH THE CHARACTER OF THE NEIGHBORHOOD WHERE IT IS PROPOSED, AND WITH THE SIZE AND LOCATION OF BUILDINGS IN THE VICINITY.

- A. The proposed 1-story structure is consistent with the other 1-story structures on this block of Kingston Pike.
- B. Three other auto-oriented commercial businesses are on the same blockface; two auto-repair facilities and a car wash.

4) THE USE WILL NOT SIGNIFICANTLY INJURE THE VALUE OF ADJACENT PROPERTY OR BY NOISE, LIGHTS, FUMES, ODORS, VIBRATION, TRAFFIC, CONGESTION, OR OTHER IMPACTS DETRACT FROM THE IMMEDIATE ENVIRONMENT.

A. The proposed use is required to comply with Article 10 of the City of Knoxville Zoning Ordinance, which regulates impacts. Section 10.2 regulates lighting, while noise, dust and pollution, odors, fire hazards, and other similar concerns are regulated in Section 10.5.

C. The subject site is approximately 10 ft lower than the properties to the rear, and a Class B buffer yard and opaque fence or wall are required along the rear lot line and a portion of the west lot line.

5) THE USE IS NOT OF A NATURE OR SO LOCATED AS TO DRAW SUBSTANTIAL ADDITIONAL TRAFFIC THROUGH RESIDENTIAL STREETS.

A. The proposed drive-through facility only has access to Kingston Pike. The site does not have direct access to the residential area to the rear.

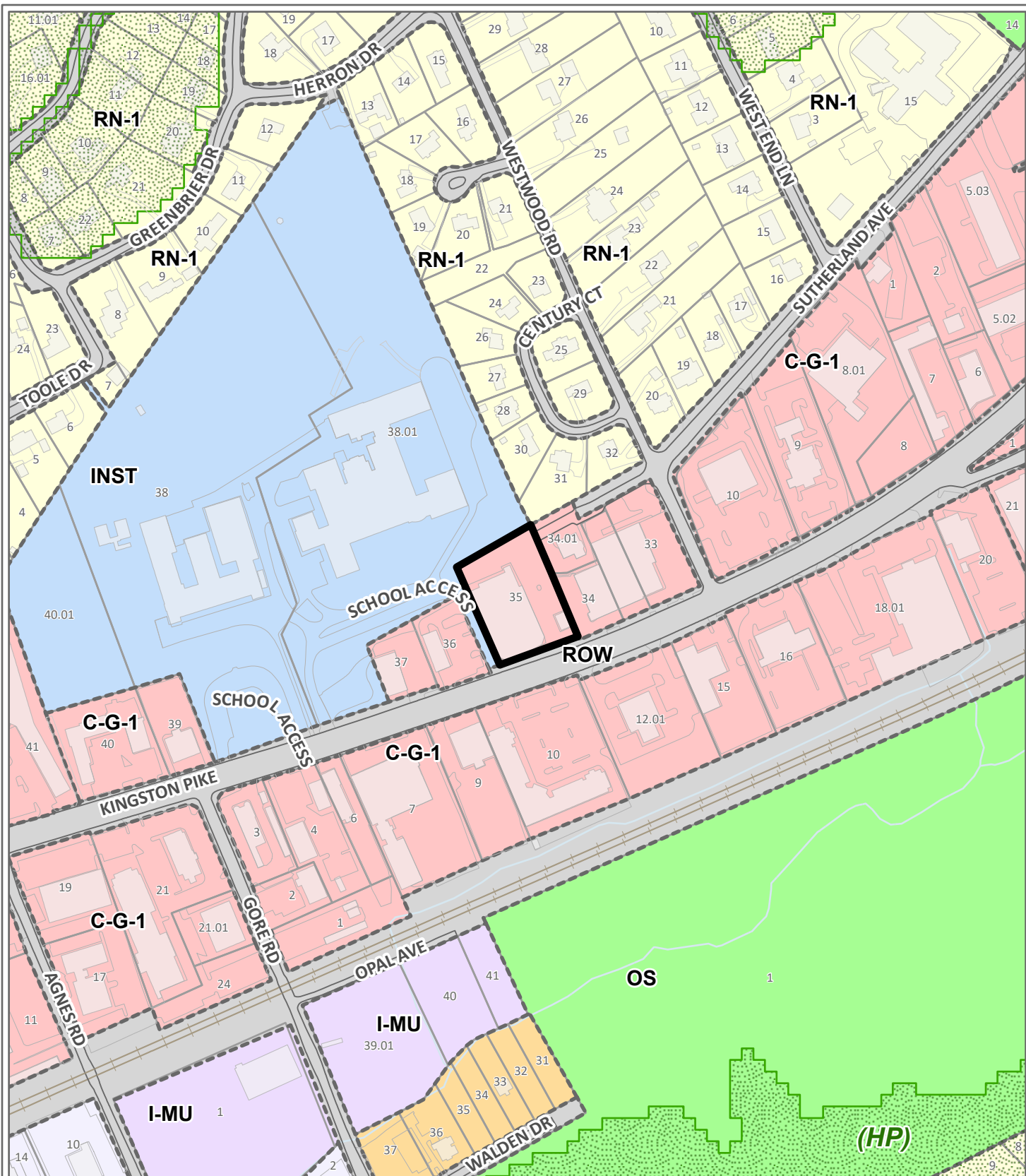
6) THE NATURE OF DEVELOPMENT IN THE SURROUNDING AREA IS NOT SUCH AS TO POSE A POTENTIAL HAZARD TO THE PROPOSED USE OR TO CREATE AN UNDESIRABLE ENVIRONMENT FOR THE PROPOSED USE.

A. No known uses immediately surround the subject site that poses a potential hazard or undesirable environment for the proposed use.

ESTIMATED TRAFFIC IMPACT: A traffic impact study was prepared by the applicant. The findings of that study were used in formulating the recommendations of this staff report.

ESTIMATED STUDENT YIELD: Not applicable.

The Planning Commission's approval or denial of this request is final, unless the action is appealed to the Knoxville City Council. The date of the Knoxville City Council hearing will depend on when the appeal application is filed.



SPECIAL USE

4-D-23-SU

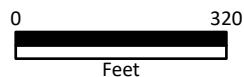
Petitioner: Taco Bell of America, LLC
(Robert Sullivan)

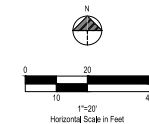


Restaurant with drive-through in C-G-1 (General Commercial)

Map No: 121
Jurisdiction: City

Original Print Date: 4/4/2023
Knoxville - Knox County Planning Commission * City / County Building * Knoxville, TN 37902





NOTE: LANDLORD IS RESPONSIBLE FOR EXISTING BUILDING DEMOLITION AND EXISTING RETAINING WALL REPLACEMENT AND/OR REPAIR.

PROPOSED LEGEND

- PROPOSED STANDARD DUTY ASPHALT PER ASPHALT PAVEMENT TABLE THIS SHEET.
- PROPOSED HEAVY DUTY ASPHALT PER ASPHALT PAVEMENT TABLE THIS SHEET.
- PROPOSED CONCRETE
- CONSTRUCTION KEYNOTE
- PROPOSED PARKING SPACE NUMBER
- PROPOSED DRIVE THRU STACK CAR AND NUMBER
- PROPOSED ADA ACCESSIBLE RAMP PER ADA SPECIFICATIONS
- PROPOSED UTILITY STRUCTURES. REFER TO UTILITY PLAN FOR MORE INFORMATION.

EXISTING LEGEND

- STANDARD SYMBOLS**
- POWER POLE
 - GUY WIRE
 - POWER LINE
 - LIGHT POLE
 - ELECTRIC TRANSFORMER
 - WATER VAULT
 - GAS VALVE
 - GAS METER
 - WATER VALVE
 - WATER METER
 - FIRE HYDRANT
 - UNDERGROUND ELECTRIC LINE
 - UNDERGROUND GAS LINE
 - UNDERGROUND COMMUNICATION LINE
 - UNDERGROUND WATER LINE
 - PHOTO POSITION INDICATOR
 - REGULAR PARKING SPACE COUNT
 - HANDICAP PARKING SPACE
 - TREE POSITION INDICATOR
 - SIGN

ASPHALT PAVEMENT

MATERIAL	LIGHT DUTY	HEAVY DUTY
ESAL VALUES	5,500	87,000
ASPHALT SURFACE COURSE	2" - 2"	1 1/2" - 1 1/2"
BINDER COURSE	--	2 1/2" - 2 1/2"
SOIL CEMENT BASE	6" - 8"	8" - --
CRUSHED STONE BASE	--	8" - 10"

SOILS REPORT GOVERNS IF ANY DISCREPANCIES OCCUR.

BUILDING SETBACKS

	REQUIRED	PROVIDED
FRONT: KINGSTON PIKE	0	48
REAR: NORTH	0	115
SIDE: EAST	0	110
SIDE: WEST	0	42

PARKING SETBACKS

	REQUIRED	PROVIDED
FRONT: KINGSTON PIKE	10	14
REAR: NORTH	10	38
SIDE: EAST	10	14
SIDE: WEST	10	14

LANDSCAPE SETBACKS

	REQUIRED	PROVIDED
FRONT: OLD PENDERGRASS ROAD	10	15
REAR: NORTH	10	14
SIDE: EAST	10	38
SIDE: WEST	10	14

PARKING SPACES

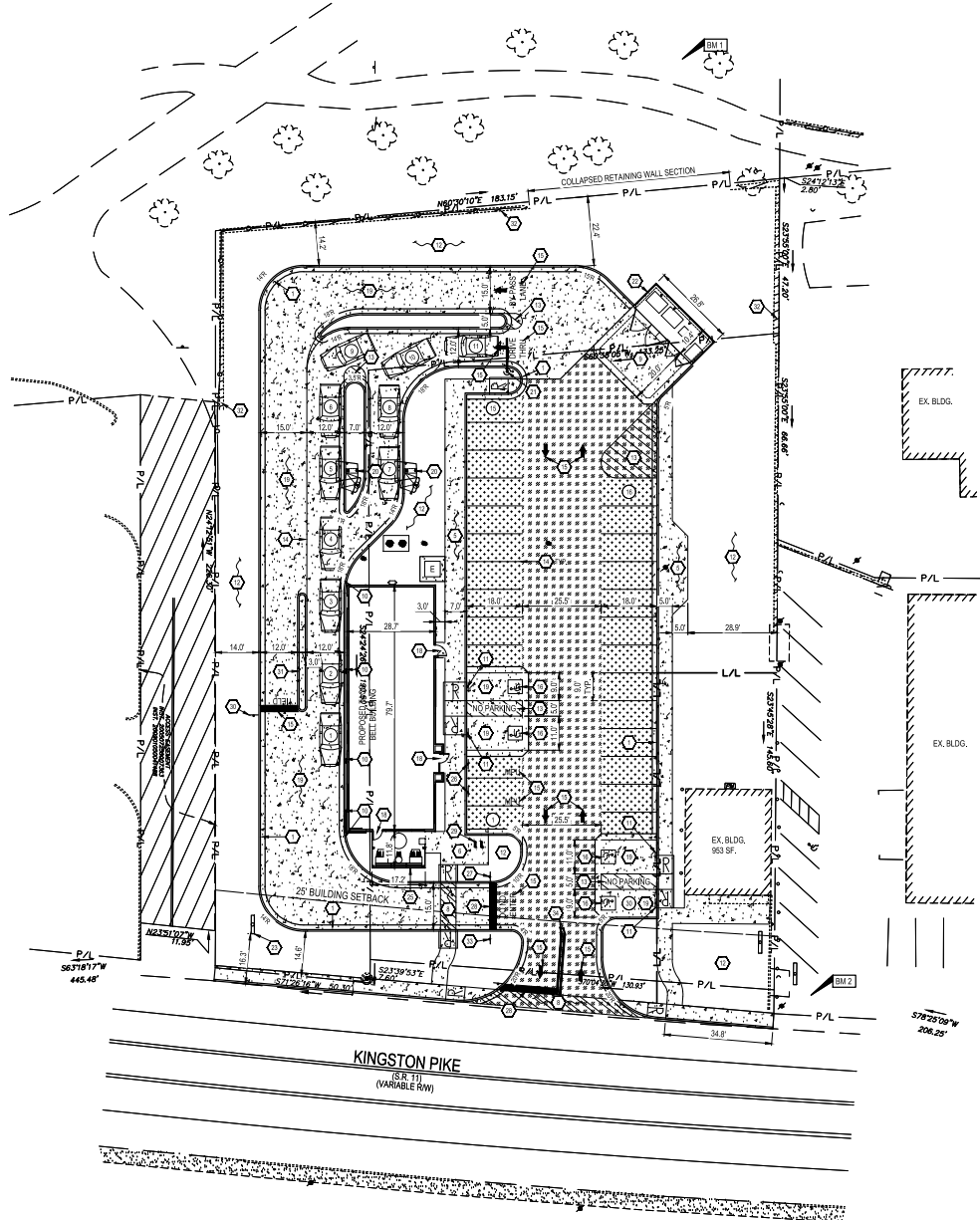
	REQUIRED	PROVIDED
NUMBER OF SPACES	14	30

PARKING REQUIREMENTS
 MINIMUM SIX (6) SPACES PER 1,000 SQUARE FEET
 MAXIMUM TWELVE (12) SPACES PER 1,000 SQUARE FEET
 TACO BELL BUILDING = 2,287 SF
 EXISTING BUILDING = 953 SF
 TOTAL SQUARE FOOTAGE = 3,240 SF
 MINIMUM PARKING SPACES REQUIRED:
 3,240 SF / (1000 / 6) = 19.44 = 20 SPACES
 MAXIMUM PARKING SPACES REQUIRED:
 3,240 SF / (1000 / 12) = 38.88 = 39 SPACES

LAND USE DATA

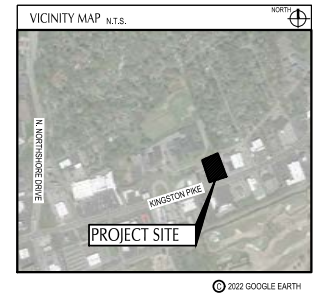
	% OF SITE AREA	AREA PROVIDED
PROPOSED BUILDING	5.77%	0.06 AC.
EXISTING BUILDING	1.92%	0.02 AC.
PAVEMENT/IMPERVIOUS	54.81%	0.57 AC.
LANDSCAPING	37.50%	0.39 AC.
TOTAL	100%	1.04 AC.

CURRENT ZONING: C-G-1 COMMERCIAL GENERAL



PLAN KEYNOTES

1. PROPOSED P.C.C. CURB AND GUTTER.
2. PROPOSED P.C.C. CURB AT DRIVE THRU.
3. PROPOSED P.C.C. CURB.
4. PROPOSED P.C.C. REVERSE CURB AND GUTTER.
5. PROPOSED P.C.C. CURBED WALK.
6. PROPOSED P.C.C. WALK.
7. PROPOSED P.C.C. FLUSH CURB WALK.
8. PROPOSED CROSSWALK.
9. PROPOSED 9" P.C.C. PAVEMENT W/ W.W.F. 6" x 6"-W2.9 x W2.9 (CONTROL JTS. 12'-0" O.C.) OVER 6" CRUSHED AGGREGATE BASE. APPLY LIQUID ASPHALT AT ALL JOINTS BETWEEN CONCRETE AND ASPHALT.
10. PROPOSED DETERRENT BOLLARD IN CURB.
11. PROPOSED ADA PARKING SIGN IN CRASH RATED BOLLARD.
12. PROPOSED LANDSCAPING AREA.
13. PROPOSED PAINTED TRANSVERSE STRIPING.
14. PROPOSED PAINTED 4" WIDE SOLID STRIPES - WHITE ON ASPHALT, YELLOW ON CONCRETE, BLUE FOR ADA.
15. PROPOSED DIRECTIONAL PAVEMENT MARKINGS - WHITE ON ASPHALT, YELLOW ON CONCRETE.
16. PROPOSED PAINTED INTERNATIONAL ADA SYMBOL PER ADA SPECIFICATIONS.
17. PROPOSED CONCRETE COLLAR.
18. PROPOSED FROST SLAB AT DOOR.
19. PROPOSED 5" P.C.C. PAVEMENT W/ W.W.F. 6" x 6"-W2.9 x W2.9 (CONTROL JTS. 12'-0" O.C.) OVER 6" CRUSHED AGGREGATE BASE. APPLY LIQUID ASPHALT AT ALL JOINTS BETWEEN CONCRETE AND ASPHALT.
20. PROPOSED MENU BOARD, CANOPY, SPEAKER POST, AND ORDER CONFIRMATION BOARD PER SIGN SUPPLIER SPECIFICATIONS. SIGN SUPPLIER TO PROVIDE A TEMPLATE FOR G.C. TO COORDINATE A MEETING WITH THE CONSTRUCTION PROJECT MANAGER AND OPERATIONS TO VERIFY LOCATION AND PLACEMENT OF MENU BOARD, CANOPY, SPEAKER POST, AND ORDER CONFIRMATION BOARD PRIOR TO ANY CONSTRUCTION. SIGN SUPPLIER SHALL PROVIDE G.C. WITH FOUNDATION DETAILS. G.C. RESPONSIBLE FOR SIGN FOUNDATIONS/ELECTRICAL.
21. PROPOSED EVOLUTION PORTAL CLEARANCE BAR.
22. PROPOSED BRICK BUMPER ENCLOSURE.
23. PROPOSED 12'-0" O.A.H., 100 S.F. MONUMENT SIGN PER SIGN SUPPLIER SPECIFICATIONS. SIGN SUPPLIER SHALL DESIGN AND INSTALL FOUNDATION.
24. PROPOSED PATIO.
25. PROPOSED DECORATIVE PATIO FENCE.
26. PROPOSED MOBILE ORDER PICK-UP SIGN, IN BOLLARD, CONTRACTOR TO INSTALL SIGN POST AND BOLLARD PER THE HANDICAP SIGN DETAIL. SIGN TO BE PROVIDED BY SIGN VENDOR.
27. PROPOSED DO NOT ENTER AND STOP SIGN PER TDOT STANDARDS.
28. PROPOSED PAINTED STOP BAR PER TDOT STANDARDS.
29. PROPOSED BIKE RACK SPACES.
30. PROPOSED YIELD SIGN.
31. PROPOSED ROLLED CURB.
32. RETAINING WALL WITH A SOLID 6 FEET HIGH FENCE ON TOP OF THE RETAINING WALL SHALL BE PROVIDED BY THE LANDLORD UNDER A SEPARATE PERMIT.
33. PROPOSED 36 INCH STOP SIGN PER TDOT STANDARDS.
34. PROPOSED DOUBLE SOLID YELLOW LINES PER TDOT STANDARDS.



BENCHMARKS:
 BASIS OF BEARING:
 HORIZONTAL REFERENCE FRAME IS NORTH AMERICAN DATUM OF 1983(2011) - STATE PLANE COORDINATE SYSTEM OF GEORGIA - WEST ZONE. VERTICAL REFERENCE FRAME IS NORTH AMERICAN VERTICAL DATUM OF 1988.
 BENCHMARK #1 - 5/8" CAPPED RBR.
 N = 589,213.93
 E = 2,561,671.35
 ELEVATION = 914.89
 BENCHMARK #2 - NAIL IN ASPHALT
 N = 588,954.97
 E = 2,561,833.38
 ELEVATION = 892.02



DATE	REMARKS

CONTRACT DATE: 04.13.22
 BUILDING TYPE: END. 80FT
 PLAN VERSION: MARCH 2021
 BRAND DESIGNER: DICKSON
 SITE NUMBER: 0
 STORE NUMBER: 0
 P/PM: SM
 DRAWN BY: NA
 JOB NO.: 20222086.30

TACO BELL
 5813 KINGSTON PIKE
 KNOXVILLE, TN 37919



ENDEAVOR 20

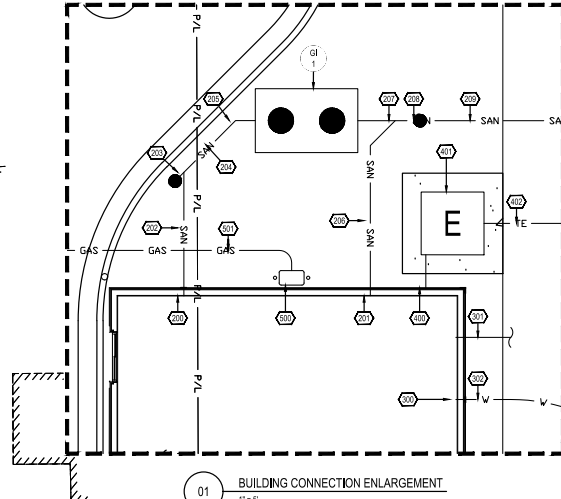
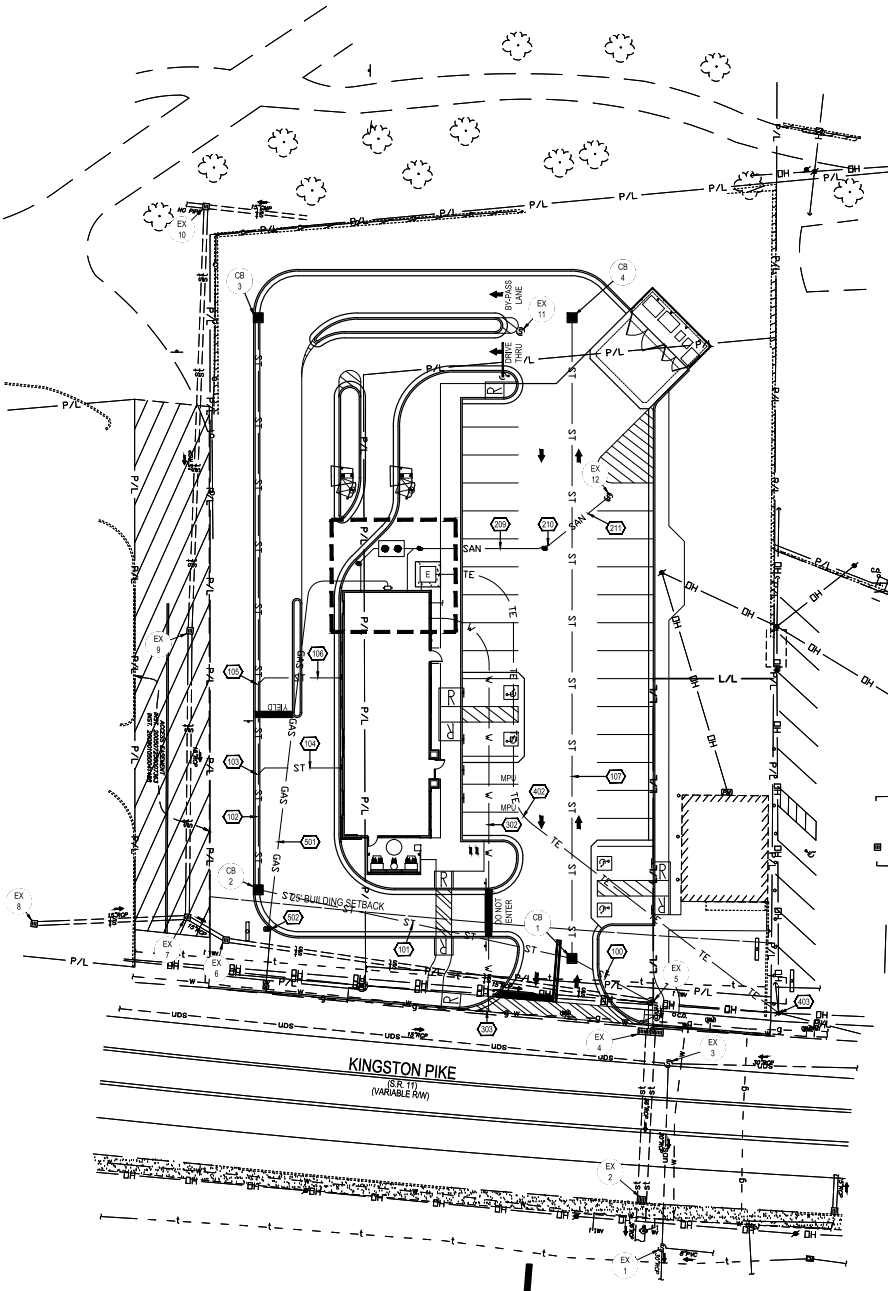
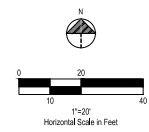
SITE PLAN

C-111

PLOT DATE: 3/23/2023 9:06 AM

4-D-23-SU
 Revised: 3/24/2023

CAUTION: IF THIS SHEET IS NOT 22"x34" IT IS A REDUCED PRINT



PLAN KEYNOTES

- STORM**
- 100. PROPOSED 29' L.F. OF 15" HDPE STORM SEWER.
 - 101. PROPOSED 104' L.F. OF 15" HDPE STORM SEWER.
 - 102. PROPOSED 104' L.F. OF 15" HDPE STORM SEWER.
 - 103. PROPOSED WYE CONNECTION.
 - 104. PROPOSED 28' L.F. OF 6" SDR 35 STORM SEWER.
 - 105. PROPOSED WYE CONNECTION.
 - 106. PROPOSED 28' L.F. OF 6" SDR 35 STORM SEWER.
 - 107. PROPOSED 200' L.F. OF 15" HDPE STORM SEWER.
- SANITARY**
- 200. PROPOSED SANITARY LINE - GREASE LINE.
 - 201. PROPOSED SANITARY LINE - WASTE LINE.
 - 202. PROPOSED 10' L.F. OF 6" SDR 35 SANITARY SEWER.
 - 203. PROPOSED SANITARY CLEANOUT AND WYE CONNECTION.
 - 204. PROPOSED 8' L.F. OF 6" SDR 35 SANITARY SEWER.
 - 205. PROPOSED SANITARY 45° ELBOW CONNECTION.
 - 206. PROPOSED 15' L.F. OF 6" SDR 35 SANITARY SEWER.
 - 207. PROPOSED SANITARY WYE CONNECTION.
 - 208. PROPOSED SANITARY CLEANOUT.
 - 209. PROPOSED 47' L.F. OF 6" SDR 35 SANITARY SEWER.
 - 210. PROPOSED SANITARY CLEANOUT AND WYE CONNECTION.
 - 211. PROPOSED 27' L.F. OF 6" SDR 35 SANITARY SEWER.
- WATER**
- 300. PROPOSED WATER CONNECTION.
 - 301. PROPOSED 1" STUB FOR BRIGGATION.
 - 302. PROPOSED 150' L.F. 1.5" THICK 10' COPPER WATER SERVICE LINE.
 - 303. PROPOSED 1.5" WATER SERVICE TAP. CONTRACTOR SHALL SUPPORT THE EXISTING GAS LINE.
- ELECTRIC AND COMMUNICATIONS**
- 400. PROPOSED ELECTRIC METER.
 - 401. PROPOSED ELECTRICAL TRANSFORMER.
 - 402. PROPOSED ELECTRIC AND TELECOMMUNICATIONS SERVICE.
 - 403. PROPOSED CONNECTION TO EXISTING ELECTRICAL SERVICE.
- GAS**
- 500. PROPOSED GAS METER.
 - 501. PROPOSED 127' L.F. GAS SERVICE CONNECTION.
 - 502. PROPOSED GAS SERVICE CONNECTION TO EXISTING GAS MAIN.

01 BUILDING CONNECTION ENLARGEMENT
1" = 6'

PROPOSED STRUCTURES		EXISTING STRUCTURES	
STRUCT. ID	STRUCTURE DETAILS	STRUCT. ID	STRUCTURE DETAILS
CB 1	PROPOSED CATCH BASIN	EX 1	EXISTING SANITARY SEMER MANHOLE RM = 891.40 INV. 30" RCP (N) = 879.2 INV. 6" PVC (E) = 881.9 INV. 30" RCP (S) = 878.9
CB 2	PROPOSED CATCH BASIN	EX 2	EXISTING DRAIN INLET RM = 890.94 INV. 36" RCP (N) = 884.0 INV. 36" RCP (S) = 883.9
CB 3	PROPOSED CATCH BASIN	EX 3	EXISTING SANITARY SEMER MANHOLE RM = 891.55 INV. 15" RCP (W) = 882.6 INV. 30" RCP (E) = 879.5 INV. 30" RCP (S) = 879.3
CB 4	PROPOSED CATCH BASIN	EX 4	EXISTING DROP INLET RM = 890.95 INV. 18" RCP (N) = 884.6 INV. 36" RCP (S) = 884.2
GE 1	PROPOSED 1,000 GALLON EXTERIOR GREASE INTERCEPTOR	EX 5	EXISTING JUNCTION BOX RM = 891.26 INV. 15" RCP (W) = 888.7 INV. 18" RCP (S) = 884.7
		EX 6	EXISTING DROP INLET RM = 893.27 INV. 15" RCP (NW) = 890.0 INV. 15" RCP (E) = 889.9
		EX 7	EXISTING DROP INLET RM = 894.36 INV. 15" RCP (W) = 890.9 INV. 15" RCP (N) = 890.5 INV. 15" RCP (SE) = 890.2
		EX 8	EXISTING DROP INLET RM = 895.42 INV. 15" RCP (E) = 893.2
		EX 9	EXISTING DROP INLET RM = 897.59 INV. 15" RCP (N) = 893.2 INV. 15" RCP (S) = 893.1
		EX 10	EXISTING DROP INLET RM = 910.34 INV. SIZE UNKNOWN (W) = 906.6 INV. 15" CAP (E) = 906.8 INV. 15" RCP (S) = 906.6
		EX 11	EXISTING SANITARY SEMER MANHOLE RM = 894.82 FULL OF WATER* BOTTOM = 887.8
		EX 12	EXISTING SANITARY SEMER MANHOLE RM = 892.71 FULL OF WATER* BOTTOM = 885.2

LEGEND

- PROPOSED STORM SEWER (12" AND SMALLER)
- PROPOSED SANITARY SEWER
- PROPOSED WATER SERVICE
- PROPOSED GAS SERVICE
- PROPOSED UNDERGROUND ELECTRIC, TELEPHONE & CABLE SERVICE
- APPURTENANCES
- UTILITY CONSTRUCTION KEYNOTE

4-D-23-SU
Revised: 3/24/2023

BENCHMARKS:
BASIS OF BEARING:
HORIZONTAL REFERENCE FRAME IS NORTH AMERICAN DATUM OF 1983(2011) - STATE PLANE COORDINATE SYSTEM OF GEORGIA-WEST ZONE. VERTICAL REFERENCE FRAME IS NORTH AMERICAN VERTICAL DATUM OF 1988.

BENCHMARK #1 - 5/8" CAPPED RBR.
N = 589,213.93
E = 2,561,871.38
ELEVATION = 914.89

BENCHMARK #2 - NAIL IN ASPHALT
N = 588,954.97
E = 2,561,833.38
ELEVATION = 892.02

* ALL DEBRIS SHALL BE CLEANED FROM SANITARY MANHOLES AND SEWER PIPES. SANITARY SEWER SHALL BE CLEANED AND TESTED TO ENSURE THERE ARE NO COLLAPSED SECTIONS UP TO THE MAIN.



DATE	REMARKS

CONTRACT DATE: 04.13.22
BUILDING TYPE: END. BOFT
PLAN VERSION: MARCH 2021
BRAND DESIGNER: DICKSON
SITE NUMBER: 0
STORE NUMBER: 0
PAF#: SM
DRAWN BY: NA
JOB NO.: 2022088.36

TACO BELL
5813 KINGSTON PIKE
KNOXVILLE, TN 37919

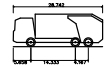
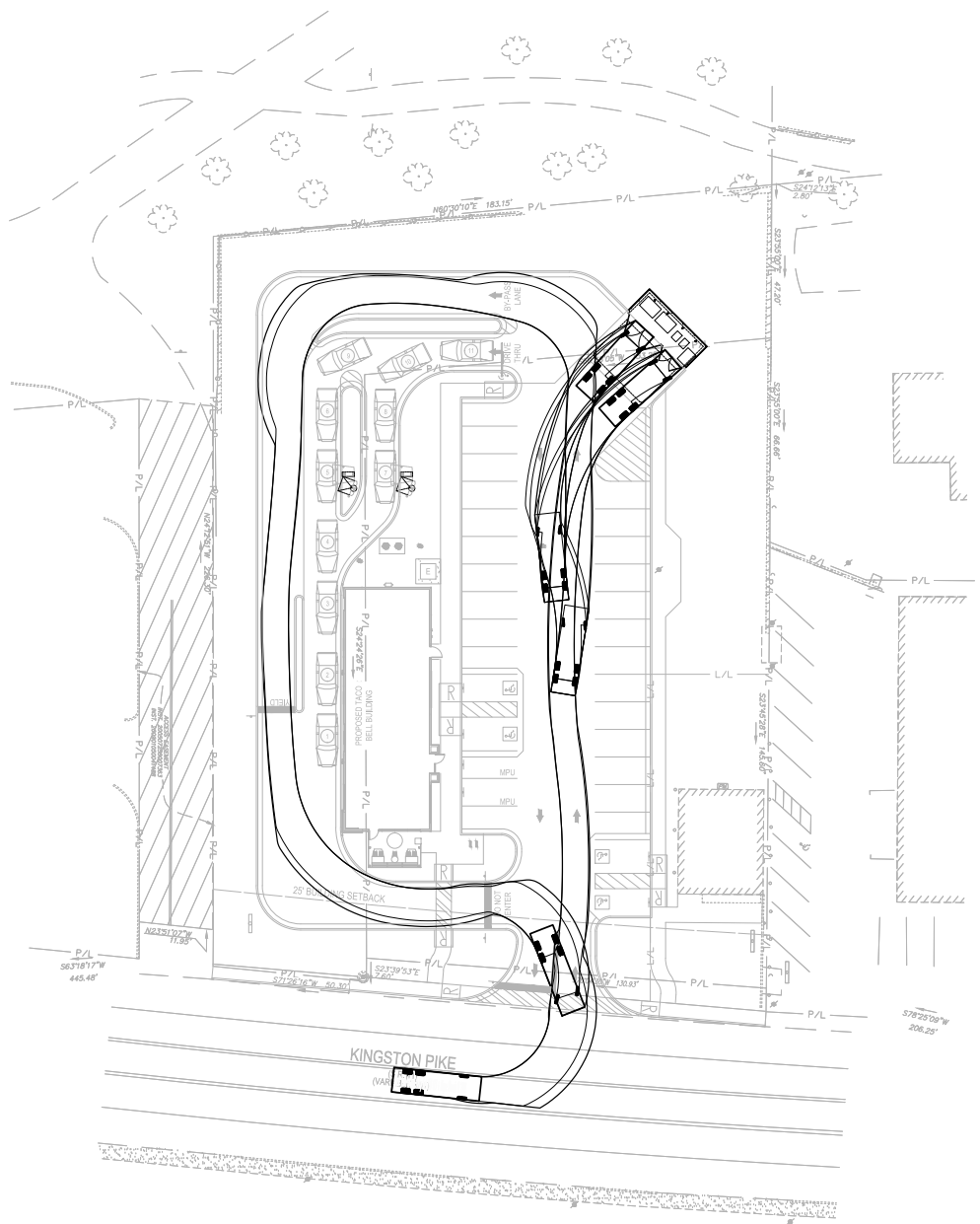


ENDEAVOR 20

UTILITY PLAN

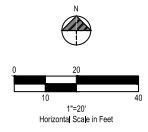
C-131

PLOT DATE: 3/22/2023 4:48 PM



Mack TerraPro Low Entry 6x4 LEU 613, + Wayne Phoenix III 25Y4
 Overall Length 25'0"
 Overall Width 8'6"
 Overall Height 10'0"
 Min. Body Ground Clearance 6'0"
 Rack Width 8'0"
 Lock-to-lock time 5'00"
 Curb to Curb Turning Radius 5'00"

CAUTION: IF THIS SHEET IS NOT 22"x34" IT IS A REDUCED PRINT



DATE	REMARKS

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 BUILDING TYPE: END. 80FT
 PLAN VERSION: MARCH 2021
 BRAND DESIGNER: DICKSON
 SITE NUMBER: 0
 STORE NUMBER: 0
 PA/PM: SM
 DRAWN BY: NA
 JOB NO.: 2022088.36

TACO BELL
 5813 KINGSTON PIKE
 KNOXVILLE, TN 37919



ENDEAVOR 20
 VEHICLE
 TRACKING
 EXHIBIT

VT-111

PLOT DATE: 3/22/2023 5:02 PM

4-D-23-SU
 Revised: 3/24/2023

BENCHMARKS:
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 N - 588,954.97
 E - 2,561,833.38
 ELEVATION = 892.02



LANDSCAPE NOTES & PLANTING SPECIFICATIONS

SCOPE OF WORK

1. THE WORK SHALL CONSIST OF PERFORMING CLEARING AND GRUBBING, SOIL PREPARATION, FINISH GRADING, PLANTING AND DRAINAGE, INCLUDING ALL LABOR, MATERIALS, TOOLS, EQUIPMENT, AND ANY OTHER APPLIANCES NECESSARY FOR THE COMPLETION OF THIS PROJECT.
2. QUANTITY TAKEOFF IS SUPPLIED FOR CONTRACTORS ASSISTANCE ONLY. CONTRACTOR IS RESPONSIBLE FOR SUPPLYING ALL PLANT MATERIALS AS PER PLAN.
3. NO ADDITIONAL COMPENSATION SHALL BE PAID TO THE CONTRACTOR FOR DAMAGE AND REPAIR WITHIN EASEMENT OR RIGHT-OF-WAY LIMITS.

PRESERVATION/PROTECTION (IF APPLICABLE)

1. CONTRACTOR SHALL MAINTAIN AND PRESERVE TREES AND SHRUBS NOT BEING REMOVED, INCLUDING THEIR ROOTS. TREE PROTECTION FENCING SHALL BE USED AT THE DRIP LINE OF ALL TREES AND SHRUBS WITHIN 90 FEET OF CONSTRUCTION EXCEPT AS SHOWN ON PLAN. FENCING SHALL REMAIN IN PLACE UNTIL FINAL PLANT INSPECTION FOLLOWING CONSTRUCTION. MATERIALS SHALL NOT BE STOCKPILED WITHIN THIS DEFINED AREA AND VEHICLES AND OTHER EQUIPMENT SHALL BE OPERATED TO AVOID SOIL COMPACTION.

OTHER MATERIALS

1. BED EDGING - EDGING SHALL BE 4" STEEL EDGING WITH THREE (3) METAL ANCHOR STAKES PER 20 FOOT SECTION. ALL MASS PLANTING BEDS SHALL BE EDGED PLACING BETWEEN MULCH AREA AND ANY ADJACENT TURF AREA.
2. MULCH - ORGANIC MULCH FREE FROM DELETERIOUS MATERIALS AND SUITABLE FOR TOP DRESSING OF TREES, SHRUBS, OR PLANTS AND CONSISTING OF THE FOLLOWING:
 - a. RIVER ROCK MULCH AREA - AGGREGATE MULCH, 3/4" X 2" SIZE, WASHED AND ROUNDED, SHALL BE INSTALLED WITHIN THE RIVER ROCK MULCH AREA PER THE PLAN. RIVER ROCK MULCH SHALL BE INSTALLED AT 1" INCHES DEPTH.
 - b. NON-DYED, DOUBLE SHREDDED HARDWOOD SHALL BE INSTALLED IN ALL OTHER LANDSCAPE BEDS OUTSIDE OF THE RIVER ROCK MULCH AREA AT A DEPTH OF 3" INCHES.

GENERAL WORK PROCEDURES

1. LANDSCAPE WORK SHALL BE ACCORDING TO THE WORKMANLIKE STANDARDS ESTABLISHED FOR LANDSCAPE CONSTRUCTION AND PLANTING IN THE TENNESSEE STANDARDIZED LANDSCAPE SPECIFICATIONS (AS) AND ANY LOCAL LANDSCAPE ORDINANCES.
2. CONTRACTOR SHALL OBTAIN A COPY OF LOCAL ORDINANCES REGARDING ACCEPTABLE PLANT AND PLANTING DETAILS AND ABIDE BY THOSE ORDINANCES AND DETAILS.
3. ENGINEER RESERVES THE RIGHT TO REJECT ALL PLANT MATERIAL DEEMED NOT ACCEPTABLE.
4. ANY PROPOSED PLANT SUBSTITUTIONS SHALL BE EQUIVALENT IN FORM, HABIT, STRUCTURE, BRANCHING AND LEAF TYPE AND MUST BE ISSUED TO THE LANDSCAPE ARCHITECT FOR APPROVAL. IN WRITING, PRIOR TO INSTALLATION.

PLANT MATERIALS

1. GENERAL: ALL MATERIALS SHALL BE OF ITS KIND AVAILABLE AND SHALL HAVE BEEN GROWN IN A CLIMATE SIMILAR TO THAT ON SITE.
2. PLANTS - ALL PLANTS SHALL BE OF NORMAL GROWTH, WELL ROOTED, FREE FROM DISEASE AND INSECTS. QUALITY AND SIZE OF PLANT MATERIAL SHALL CONFORM TO ANSI Z60.1 AMERICAN STANDARDS FOR NURSERY STOCK.
3. VARIETIES AND SIZES OF PLANTS SHALL BE AS SHOWN ON DRAWINGS.
4. PLANTS SHALL BE IN A HEALTHY, VIGOROUS CONDITION, FREE OF DEAD OR BROKEN BRANCHES, SCARS THAT ARE NOT COMPLETELY HEALED, FROST CRACKS, DISFIGURING KNOTS, BROKEN OR ABRADED BARK, REDUNDANT LEADERS OR BRANCHES, OR ABERRATIONS OF ANY KIND. PLANTS SHALL NOT HAVE MULTIPLE LEADERS, UNLESS THIS IS THE NATURAL FORM.
5. BALLED AND BURLAPPED (B&B) PLANTS SHALL BE DUG WITH A FIRM ROOT BALL OF NATURAL EARTH, OF A SIZE IN PROPORTION TO THE PLANTS SIZE, AS MEASURED BY CALIPER, HEIGHT, OR SPREAD. BALLED AND BURLAPPED PLANTS SHALL BE HANDLED ONLY BY THE ROOT BALL, NOT BY THE TRUNK OR BRANCHES, AS THIS MAY BREAK OR LOOSEN THE ROOT BALL AND DAMAGE THE ROOT SYSTEM. CONTAINER PLANTS SHALL HAVE BEEN ESTABLISHED FOR A MINIMUM OF ONE FULL GROWING SEASON IN THEIR CONTAINERS BEFORE INSTALLATION. CONTAINER PLANTS SHALL BE HANDLED ONLY BY THE CONTAINER, NOT BY THE STEMS OR BRANCHES, AS THIS MAY PULL THE PLANT OUT OF THE CONTAINER AND BREAK OR LOOSEN THE ROOT BALL AND DAMAGE THE ROOT SYSTEM.
6. PLANTS SHALL BE PROTECTED FROM DRYING OUT DURING SHIPPING WITH TARPAULINS OR OTHER COVERINGS. PLANTS SHALL BE PROTECTED FROM DRYING OUT AFTER DELIVERY BY PLANTING IMMEDIATELY. IF THIS IS NOT POSSIBLE, THE ROOT BALL SHALL BE COVERED WITH PEAT MOSS OR EARTH, AND WATERED FREQUENTLY TO KEEP IT MOST UNIL PLANTING.
7. DO NOT HANDLE, MOVE, BIND, OR OTHERWISE TREAT PLANTS SO AS TO DAMAGE THE ROOT BALL, ROOTS, TRUNK, OR BRANCHES IN ANY WAY.

TOPSOIL

1. TOPSOIL HAS BEEN OR WILL BE STOCKPILED FOR REUSE IN LANDSCAPE WORK. IF QUANTITY OF STOCKPILED TOPSOIL IS INSUFFICIENT, PROVIDE ADDITIONAL TOPSOIL AS REQUIRED TO COMPLETE LANDSCAPE WORK. IMPORTED TOPSOIL SHALL CONSIST OF LOOSE, FRABLE, LOAMY TOPSOIL WITHOUT ADMIXTURE OF SUBSOIL OR REFUSE. ACCEPTABLE TOPSOIL SHALL CONTAIN NOT LESS THAN 3 PERCENT NOR MORE THAN 20 PERCENT ORGANIC MATTER.
2. PLANTING BACKFILL FOR PARKING LOT ISLANDS SHALL CONSIST OF A HOMOGENEOUS MIXTURE OF 3 PARTS TOPSOIL TO ONE PART SPAGNUM PEAT INSTALLED OVER A 6" THICKNESS OF NO. 57 AGGREGATE.

SOIL CONDITIONING

1. BEFORE LABORATORY ANALYSIS OF STOCKPILED AND IMPORTED TOPSOIL, COMPLETE WITH RECOMMENDATIONS FOR SOIL AMENDMENT.
2. BEFORE MIXING, CLEAN TOPSOIL OF ROOTS, PLANTS, SOD, STONES, CLAY LUMPS, AND OTHER EXTRANEOUS MATERIALS HARMFUL OR TOXIC TO PLANT GROWTH.
3. MIX SPECIFIED SOIL AMENDMENTS AND FERTILIZERS WITH TOPSOIL AT RATES SPECIFIED BY THE LAB REPORT. DELAY MIXING OF FERTILIZER IF PLANTING WILL NOT FOLLOW PLACING OF PLANTING SOIL WITHIN A FEW DAYS.
4. FOR PLANTING BEDS AND LAWNS, MIX PLANTING SOIL EITHER PRIOR TO PLANTING OR APPLY ON SURFACE OF TOPSOIL, AND MIX THOROUGHLY BEFORE PLANTING. MIX LINE WITH DRY SOIL PRIOR TO MIXING OF FERTILIZER.
5. PREVENT LIME FROM CONTACTING ROOTS OF ACID-LOVING PLANTS.
6. APPLY PHOSPHORIC ACID FERTILIZER OTHER THAN THAT CONSTITUTING A PORTION OF COMPLETE FERTILIZERS DIRECTLY TO SUBGRADE BEFORE APPLYING PLANTING SOIL AND TILLING.

PLANTING SOIL

1. PLANTING SOIL MIX SHALL BE CLEAR OF ALL STONES AND DEBRIS 1" OR LARGER, AND CONSIST OF THE FOLLOWING: 25% ORGANIC COMPOST, 75% ACCEPTABLE TOPSOIL.

WEEDING

1. BEFORE AND DURING PRELIMINARY GRADING AND FINISH GRADING, ALL WEEDS AND GRASSES SHALL BE DUG OUT BY THE ROOTS AND DISPOSED OF AT THE CONTRACTOR'S EXPENSE.

PLANTING

1. POSITION TREES AND SHRUBS AT THE PLANTING LOCATIONS AS PER THE PLANS AND SECURE THE APPROVAL OF THE OWNER BEFORE EXCAVATING PITS, MAKING NECESSARY ADJUSTMENTS AS DIRECTED.
2. PLANTING PITS SHALL BE AS PER DETAILS.
3. PREPARED SOIL SHALL BE TAMPED FIRMLY AT BOTTOM OF PIT, FILL WITH PLANTING SOIL AROUND BALL OF PLANT, COMPLETE BACKFILLING AND WATER THOROUGHLY.
4. EACH TREE AND SHRUB SHALL RECEIVE THE LANDSCAPER'S BONITATION (2-4-3) GRANULAR WITH MYCORRHIZAL TECHNOLOGY FERTILIZER OR APPROVED OTHER. APPLY FERTILIZER PER MANUFACTURER'S SPECIFICATIONS.
5. WATER IMMEDIATELY AFTER PLANTING. WATER SHALL BE APPLIED TO EACH TREE AND SHRUB IN SUCH MANNER AS NOT TO DISTURB BACKFILL, AND TO THE EXTENT THAT ALL MATERIALS IN THE PLANTING HOLE ARE THOROUGHLY SATURATED.
6. INSTALL BED EDGING AND MULCH PER MATERIALS SPECIFICATION AND DETAILS.
7. REMOVE ALL SALES TAGS, STRINGS, STRAPS, WIRE, ROPE OR OTHER MATERIALS THAT MAY INHIBIT PLANT GROWTH BOTH ABOVE AND BELOW THE SURFACE OF THE SOIL.
8. REMOVE ANY BROKEN, SUCKERING, DISEASED, CROSSCROSSED OR AESTHETICALLY DISPLEASING BRANCHES BACK TO LIVE LEADER OR SIDE LATERAL WITH A FLUSH CUT.

FINISH GRADING

1. ALL AREAS WILL BE GRADED BY THE CONTRACTOR TO SUBSTANTIALLY PLUS/MINUS 0.1 FOOT OF FINISH GRADE.
2. ALL LAWN AND PLANTING AREAS SHALL BE GRADED TO A SMOOTH, EVEN, UNIFORM PLANE WITH NO ABRUPT CHANGE OF SURFACE. SOIL AREAS ADJACENT TO THE BUILDINGS SHALL SLOPE AWAY FROM THE BUILDINGS.
3. ALL PLANTING AREAS SHALL BE GRADED AND MAINTAINED TO ALLOW FREE FLOW OF SURFACE WATER.
4. PARKING LOT ISLAND SHALL BE BACKFILLED AS PART OF THIS CONTRACT.

GROUND COVER

1. SPACING AND VARIETY OF GROUND COVER SHALL BE AS SHOWN ON DRAWINGS.
2. MULCH GROUND COVER WITH 2" THICKNESS OF SPAGNUM PEAT.
3. IMMEDIATELY AFTER PLANTING GROUND COVER, CONTRACTOR SHALL THOROUGHLY WATER GROUND COVER.
4. ALL GROUND COVER AREAS SHALL BE TREATED WITH A PRE-EMERGENT BEFORE FINAL LANDSCAPE INSPECTION. GROUND COVER AREAS SHALL BE WEEDED PRIOR TO APPLYING PRE-EMERGENT. PRE-EMERGENT TO BE APPLIED AS PER MANUFACTURER'S RECOMMENDATION.

GUARANTEE

1. CONTRACTOR SHALL GUARANTEE ALL PLANTS FOR A PERIOD OF ONE (1) YEAR FROM DATE OF PROJECT ACCEPTANCE BY THE OWNER.

CLEANUP

1. UPON THE COMPLETION OF ALL PLANTING WORK AND BEFORE FINAL ACCEPTANCE, THE CONTRACTOR SHALL REMOVE ALL MATERIAL, EQUIPMENT, AND DEBRIS RESULTING FROM HIS WORK. AN ACCEPTABLE CONDITION SHALL BE AS DEMAND AND APPROVED BY THE OWNER'S AUTHORIZED REPRESENTATIVE.

IRRIGATION

1. CONTRACTOR SHALL PROVIDE & INSTALL AN IRRIGATION SYSTEM TO PROVIDE 100% COVERAGE OF THE SITE.
2. IRRIGATED AREAS WITHIN 5 FEET OF BUILDING WALLS SHALL BE IRRIGATED BY DRIP IRRIGATION OR SIMILAR. CONTRACTOR SHALL ENSURE BUILDING WALLS AND WINDOWS WILL NOT BE DAMAGED OR STAINED BY IMPROPER INSTALLATION OR POOR SELECTION OF FITURES.
3. SYSTEM SHALL INCLUDE ALL SPRINKLER FITURES, DRIP TUBING, PIPING, VALVES, WIRING AND CONTROLS TO PROVIDE A COMPLETE FUNCTIONAL SYSTEM THAT SHALL CONPLY WITH CITY CODE.
5. IRRIGATION CONTRACTOR SHALL PROVIDE A METHOD FOR WINTERIZATION. WINTERIZATION SHALL BE PERFORMED BY CONTRACTOR UPON COMPLETION IF SYSTEM IS INSTALLED BETWEEN NOVEMBER 1 AND MARCH 31.
6. PRIOR TO UPDATING THE IRRIGATION SYSTEM, A CERTIFIED IRRIGATION DESIGNER SHALL PROVIDE SHOP DRAWINGS TO ENGINEER FOR APPROVAL.
5. UPON APPROVAL OF SHOP DRAWINGS, THE UPDATED IRRIGATION SYSTEM SHALL BE APPROVED BY OWNER FOR FINAL ACCEPTANCE.

MAINTENANCE

1. MAINTENANCE PERIOD FOR THIS CONTRACT SHALL BE 90 CALENDAR DAYS COMMENCING AFTER FINAL INSPECTION OF CONSTRUCTION.
2. MAINTAIN TREES, SHRUBS AND OTHER PLANTS BY PRUNING, CULTIVATING AND WEEDING AS REQUIRED FOR HEALTHY GROWTH, RESTORE PLANTING SALES TAGS, REST TREES AND SHRUBS TO PROPER GRADES OR VERTICAL POSITION AS REQUIRED.
3. MAINTAIN LAWNS BY WATERING, MOWING, TRIMMING, AND OTHER OPERATIONS SUCH AS ROLLING, GRADING AND REPLANTING AS REQUIRED TO ESTABLISH A SMOOTH, ACCEPTABLE LAWN, FREE OF EXPOSED OR BARE AREAS.
4. MAINTAIN THE LANDSCAPING BY KEEPING ALL PLANTS DISEASE-FREE AND PLANTING BEDS GROUNDED, EXCEPT IN NATURALLY OCCURRING VEGETATION AREAS.
5. REPLACE ANY REQUIRED PLANTINGS, WHICH SEVERELY DECLINE OR DIE AFTER THE DATE OF PLANTING. SUCH REPLACEMENT SHALL OCCUR DURING THE NEXT APPROPRIATE PLANTING SEASON.

SODDING

1. SOD SHALL BE FIRST GRADE CERTIFIED BLENDS OF THE FOLLOWING SPECIES PER HARDNESS ZONE CONTAINING NOT MORE THAN 30 PERCENT OF OTHER GRASSES AND CLOVERS, AND FREE FROM ALL NOXIOUS WEEDS.
 - ZONES 3 & 4: 5 APPROVED BLUE GRASS BLEND
 - ZONE 6: APPROVED FESCUE BLEND
 - ZONES 7 & 8: APPROVED BERMAUDA BLEND
 - ZONES 9 & 10: APPROVED ST. AUGUSTINE FLORATAM BLEND
2. SOD SHALL BE RECENTLY MOVED TO A HEIGHT OF NOT LESS THAN 3 INCHES. IT SHALL BE CUT INTO STRIPS OF NOT LESS THAN 3 FEET AND NOT OVER 6 FT. WITH A UNIFORM WIDTH OF NOT OVER 24 INCHES.
3. SOD SHALL BE CUT TO A DEPTH EQUAL TO THE GROWTH OF THE FIBROUS ROOTS BUT IN NO CASE LESS THAN 1 INCH.
4. SOD SHALL BE DELIVERED TO THE JOB WITHIN 24 HOURS AFTER BEING CUT AND SHALL BE INSTALLED WITHIN 48 HOURS AFTER BEING CUT.
5. BEFORE SOD IS PLACED, THE SOD BED WILL HAVE BEEN EXCAVATED TO SUCH A DEPTH THAT WHEN THE SOD IS PLACED THE TOP OF THE SOD WILL BE FLUSH WITH THE SURROUNDING GRADE.
6. NO SOD SHALL BE PLACED WHEN THE TEMPERATURE IS BELOW 32 DEGREES F. NO FROZEN SOD SHALL BE PLACED NOR SHALL ANY SOD BE PLACED ON FROZEN SOIL. WHEN SOD IS PLACED BETWEEN THE DATES OF JUNE 1ST AND OCTOBER 15TH, IT SHALL BE COVERED IMMEDIATELY WITH A STRAW MULCH 1 INCH THICK (LOOSE MEASUREMENT).
7. AFTER LAYING, THE SOD SHALL BE WATERED THOROUGHLY AND TAMPED WITH APPROVED SOD TAMPERS SUFFICIENTLY TO BRING THE SOIL INTO CLOSE CONTACT WITH THE SOD BED AND INSURE TIGHT JOINTS BETWEEN THE SECTIONS OR STRIPS.
8. THE CONTRACTOR SHALL KEEP ALL SODDED AREAS INCLUDING SUBGRADE, THOROUGHLY MOIST FOR 30 DAYS AFTER SODDING.
9. THE CONTRACTOR SHALL REPAIR ANY AREAS DAMAGED FOLLOWING INSTALLATION AS DIRECTED BY THE ENGINEER. SOD SHALL BE IN PLACE AT LEAST 30 DAYS BEFORE FINAL ACCEPTANCE.
10. THE CONTRACTOR SHALL KEEP ALL SODDED AREAS INCLUDING SUBGRADE, THOROUGHLY MOIST FOR 30 DAYS AFTER SODDING.
11. THE CONTRACTOR SHALL REPAIR ANY AREAS DAMAGED FOLLOWING INSTALLATION AS DIRECTED BY THE ENGINEER. SOD SHALL BE IN PLACE AT LEAST 30 DAYS BEFORE FINAL ACCEPTANCE.

GENERAL NOTE

1. ALL AREAS DISTURBED BY CONSTRUCTION THAT ARE WITHIN THE RIGHT-OF-WAY SHALL BE FINE GRADED TO MAINTAIN POSITIVE DRAINAGE, HAVE A 4" LAYER OF TOPSOIL, APPLIED AND BE SEEDDED ACCORDING TO SPECIFICATIONS ON THE SHEET.

SEEDING

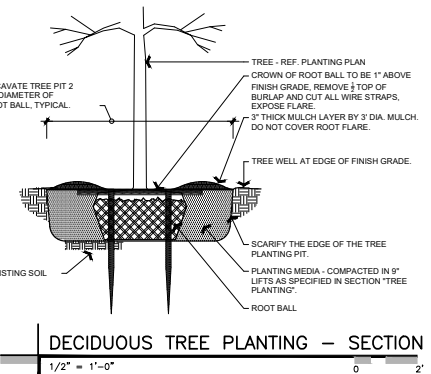
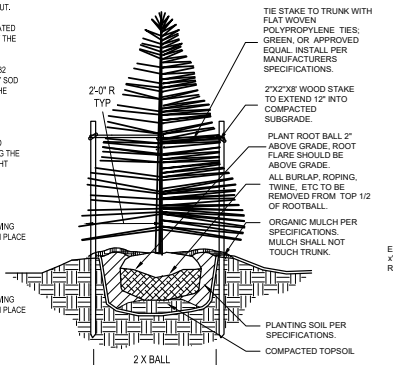
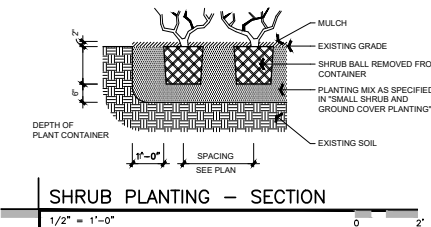
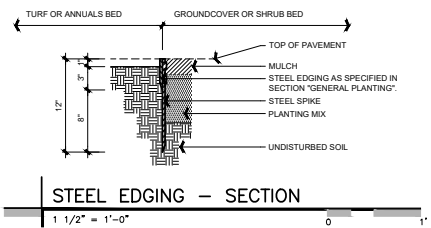
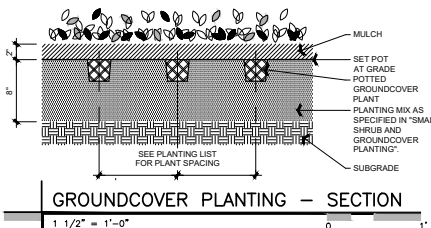
1. GRASS SEED SHALL BE FRESH, CLEAN, DRY, NEW-CROP SEED CONPLY WITH THE ASSOCIATION OF OFFICIAL SEED ANALYSTS' RULES FOR TESTING SEEDS FOR PURITY AND GERMINATION TOLERANCES.
2. ALL AREAS TO BE SEEDDED SHALL RECEIVE NO LESS THAN FIVE POUNDS OF SEED PER ONE THOUSAND SQUARE FEET. APPLY SEED AND PROTECT WITH STRAW MULCH AS REQUIRED FOR NEW LAWNS. GRASS SEED MIX SHALL CONSIST OF THE FOLLOWING:

PROPORTION	NAME	MIN. GERM. %	PURE SEED MILLS.	WEED SEED MAX.%
30%	KENTUCKY BLUEGRASS (POA-PRATENSIS)	80	85	0.50
30%	CRESPING RED FESCUE (FESTUCA RUBRA)	85	90	0.50
20%	PERENNIAL RYE GRASS (LOLIUM PERENNE)	90	95	0.50
20%	ANNUAL RYEGRASS (LOLIUM MULTIFLORUM)	85	92	1.00

PLANTING SCHEDULE

1. ALL PLANTING IS RECOMMENDED TO BE DONE WITHIN THE FOLLOWING DATES, WHEN PLANTING OUTSIDE THESE DATES, WRITTEN DOCUMENTATION SHALL BE PROVIDED THAT SURVIVAL OR REPLACEMENT WILL BE ENSURED, NO PLANTING SHALL BE DONE IN FROZEN SOIL.

NORMAL PLANTING SEASONS	SPRING	FALL
ALL TREES AND SHRUBS	MARCH 15-MAY 15	OCTOBER 1-DECEMBER 1
EVERGREENS	APRIL 1-MAY 15	OCTOBER 1-NOVEMBER 15
GROUNDCOVERS	APRIL 1-JUNE 1	WHEN SOD IS WORKABLE
SEED AND MULCH	APRIL 1-MAY 15	OCTOBER 1-NOVEMBER 15



- GENERAL NOTES:**
1. IF ROOTBALL IS WRAPPED IN NON-BIODEGRADABLE BURLAP, REMOVE ENTIRE WRAP AFTER PLACED IN PIT. WHEN BACKFILLING PLANT PIT, PLACE PLANTING SOIL IN TWO LIFTS. AFTER FIRST LIFT, PUDDLE SOIL IN WITH WATER TO REMOVE ALL AIR POCKETS. PLACE SECOND LIFT AND CONTINUE TO PUDDLE AND FILL AS NECESSARY.
 2. ALL EVERGREEN TREES SHALL HAVE HEAVY, SEMI-SHEARED WELL SHAPED CROWNS.



DATE	REMARKS

CONTRACT DATE: 04.13.22
 BUILDING TYPE: END. BOST
 PLAN VERSION: MARCH 2021
 BRAND DESIGNER: DICKSON
 SITE NUMBER: 0
 STORE NUMBER: 0
 P&P/M: SM
 DRAWN BY: NA
 JOB NO.: 20222068.36

TACO BELL
 5813 KINGSTON PIKE
 KNOXVILLE, TN 37919



ENDEAVOR 20

LANDSCAPE NOTES & DETAILS

L-001

PLOT DATE: 3/23/2023 3:29 PM

4-D-23-SU
 Revised: 3/24/2023



DATE	REMARKS

CONTRACT DATE: 04.13.22
 BUILDING TYPE: END. 80FT
 PLAN VERSION: MARCH 2021
 BRAND DESIGNER: DICKSON
 SITE NUMBER: 0
 STORE NUMBER: 0
 P/PM: SM
 DRAWN BY: NA
 JOB NO.: 2022068.36

TACO BELL
 5813 KINGSTON PIKE
 KNOXVILLE, TN 37919



ENDEAVOR 20

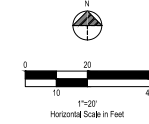
LANDSCAPE PLAN

L-101

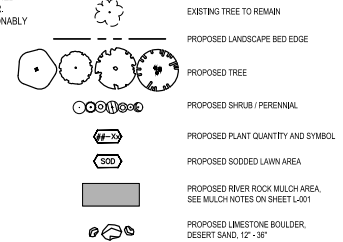
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LANDSCAPE NOTES

- MULCH PER LANDSCAPE SPECIFICATIONS.
- ALL DISTURBED AREAS NOT TO BE PAVED OR MULCHED SHALL BE SODED PER SPECIFICATIONS.
- ALL DISTURBED AREAS ON ADJACENT PROPERTY OR WITHIN THE R.O.W. NOT TO BE PAVED, SHALL BE SEED PER THE SPECIFICATIONS.



LANDSCAPE LEGEND



LANDSCAPE CALCULATIONS

SEC. 12.5 - PARKING LOT PERIMETER LANDSCAPE YARD B. PERIMETER YARD	
CODE REQUIREMENT: THE PERIMETER YARD MUST BE PLANTED WITH A MINIMUM OF 3 SHADE AND/OR EVERGREEN TREES AND 10 SHRUBS FOR EVERY 100 FT. A MINIMUM OF 50% OF THE SHRUBS MUST BE EVERGREEN.	PROVIDED: 4 TREES 37 SHRUBS
PROJECT REQUIREMENT: KINGSTON PIKE: 116 LF FT. @ 100 = 1.16 1.16 X 3 = 3.48 REQUIRED TREES 1.16 X 10 = 11.6 REQUIRED SHRUBS	

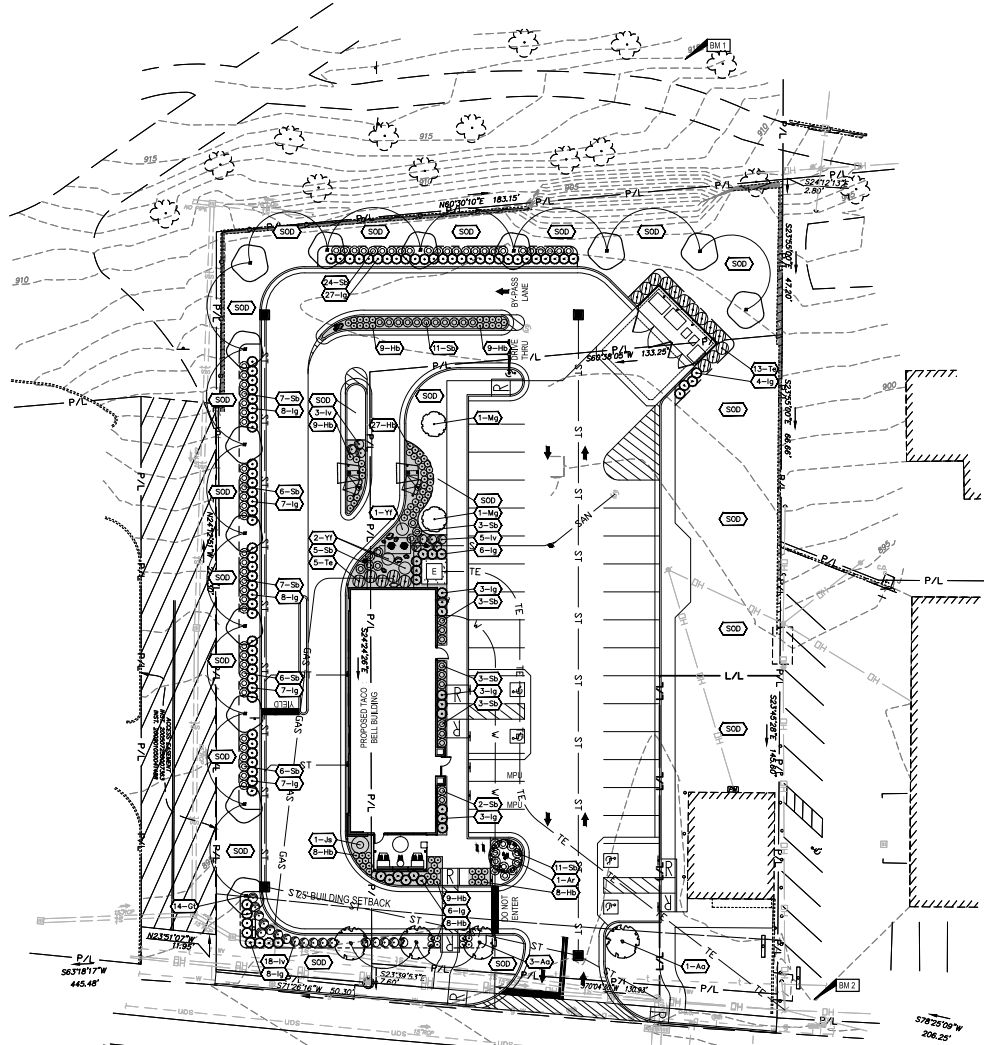
SEC. 12.6 - INTERIOR PARKING LOT LANDSCAPE C. TREE ISLAND	
CODE REQUIREMENT: A MINIMUM OF ONE SHADE TREE MUST BE PROVIDED IN EVERY PARKING LOT ISLAND.	PROVIDED: 1 PARKING LOT ISLAND TREE
PROJECT REQUIREMENT: 1 PARKING LOT ISLAND TREE	

SEC. 12.7 - SITE LANDSCAPE B. BUILDING FACADE LANDSCAPE	
CODE REQUIREMENT: WHERE NO PARKING IS LOCATED IN FRONT OF STRUCTURE AND FACADE ABUTS ANY PARKING AREA, PLANTING AREA IS REQUIRED ALONG 80% OF THE LINEAR FACADE AREA. ONE SHRUB IS REQUIRED FOR EVERY 5 FT. ONE SHADE TREE IS REQUIRED FOR EVERY 50 FT., OR 2 ORNAMENTAL TREES SPACED EVERY 25 FT.	PROVIDED: PLANTING AREA - 70 LF. (87.5%) 20 SHRUBS 2 ORNAMENTAL TREES
PROJECT REQUIREMENT: 80 LN. FT. OF FACADE X 60% = 48 LN. FT. 48 LN. FT. / 3 = 16 REQUIRED SHRUBS 48 LN. FT. / 50 = 1 REQUIRED SHADE TREE	

SEC. 12.8 - SITE LANDSCAPE B. BUFFER YARDS (CLASS B WITH 30% REDUCTION)	
CODE REQUIREMENT: MINIMUM WIDTH: (20 FT. X 30%) = 14 FT. MINIMUM REQUIRED SHRUBS: ONE SHRUB FOR EVERY 3 FT. MINIMUM REQUIRED TREES = ONE EVERGREEN TREE FOR EVERY 20 FT., OR ONE SHADE TREE FOR EVERY 30 FT.	PROVIDED: W. PROPERTY LINE: WIDTH: 14 FT. SHRUBS: 84 TREES: 8 N. PROPERTY LINE: WIDTH: 14 FT. SHRUBS: 61 TREES: 6
PROJECT REQUIREMENT (W. PROPERTY LINE): REQUIRED WIDTH: 14 FT. WIDTH REQUIRED MINIMUM SHRUBS: 225 FT. / 3 FT. = 75 SHRUBS REQUIRED MINIMUM TREES: 225 FT. / 30 FT. = 7.5 TREES	
PROJECT REQUIREMENT (N. PROPERTY LINE): REQUIRED WIDTH: 14 FT. WIDTH REQUIRED MINIMUM SHRUBS: 175 FT. / 3 FT. = 58.33 SHRUBS REQUIRED MINIMUM TREES: 175 FT. / 30 FT. = 5.83 TREES	

"DUE TO PHYSICAL CONSTRAINTS OF THE SITE, CITY/COUNTY HAS APPROVED BY ALTERNATIVE LANDSCAPE DESIGN REQUIREMENTS, THESE LANDSCAPE REQUIREMENTS ARE INTENDED TO SET MINIMUM STANDARDS FOR QUALITY DEVELOPMENT AND ENVIRONMENTAL PROTECTION.

- THE PROPOSED ALTERNATIVE WILL NOT PRESENT A SAFETY HAZARD.
- THE PROPOSED ALTERNATIVE WILL, UPON MATURITY, PROVIDE LANDSCAPING THAT IS EQUAL TO OR BETTER THAN THE STANDARD REQUIREMENTS.
- THE PROPOSED ALTERNATIVE IS DESIGNED TO ADDRESS PLANT HEALTH AND VIGOR.
- THE PROPOSED ALTERNATIVE IS REASONABLY COMPATIBLE WITH THE NATURAL AND TOPOGRAPHIC FEATURES OF THE SITE.



Symbol	Botanical Name	Common Name	Qty.	Min. Size	Condition	Remarks
Aa	Amelanchier alnifolia 'Obelisk'	'Standing Ovation' Serviceberry	4	2" Cal.	B&B	Single-Stem
Ar	Acer rubrum 'Armstrong'	'Armstrong' Red Maple	1	2" Cal	B&B	Specimen
Gt	Gleditsia triacanthos f. inermis 'Skyline'	'Skyline' Thornless Honeylocust	14	2" Cal.	B&B	Specimen
Hb	Hemerocallis 'Going Bananas'	Going Bananas Daylily	87	No. 2	Cont.	2' o/c
Ig	Ilex glabra 'Chamzri'	'Nordic' Inkberry Holly	97	24" H Min.	Cont.	3' o/c
Iv	Itea virginica	Virginia Sweetspire	26	No. 3	Cont.	3' o/c
Js	Juniperus scopulorum 'Wichita Blue'	'Wichita Blue' Juniper	1	48" H Min.	B&B	Per Plan
Mg	Magnolia grandiflora 'Little Gem'	'Little Gem' Magnolia	2	2" Cal	B&B	Specimen
Sb	Spiraea x bumalda 'Goldflame'	'Goldflame' Spirea	97	24" H Min.	Cont.	3' o/c
Te	Thuja occidentalis 'Smaragd'	Emerald Arborvitae	18	6" H	B&B	4' o/c
Yf	Yucca filamentosa 'Color Guard'	Color Guard Yucca	3	No. 3	Cont.	Per Plan

4-D-23-SU
 Revised: 3/24/2023

TACO

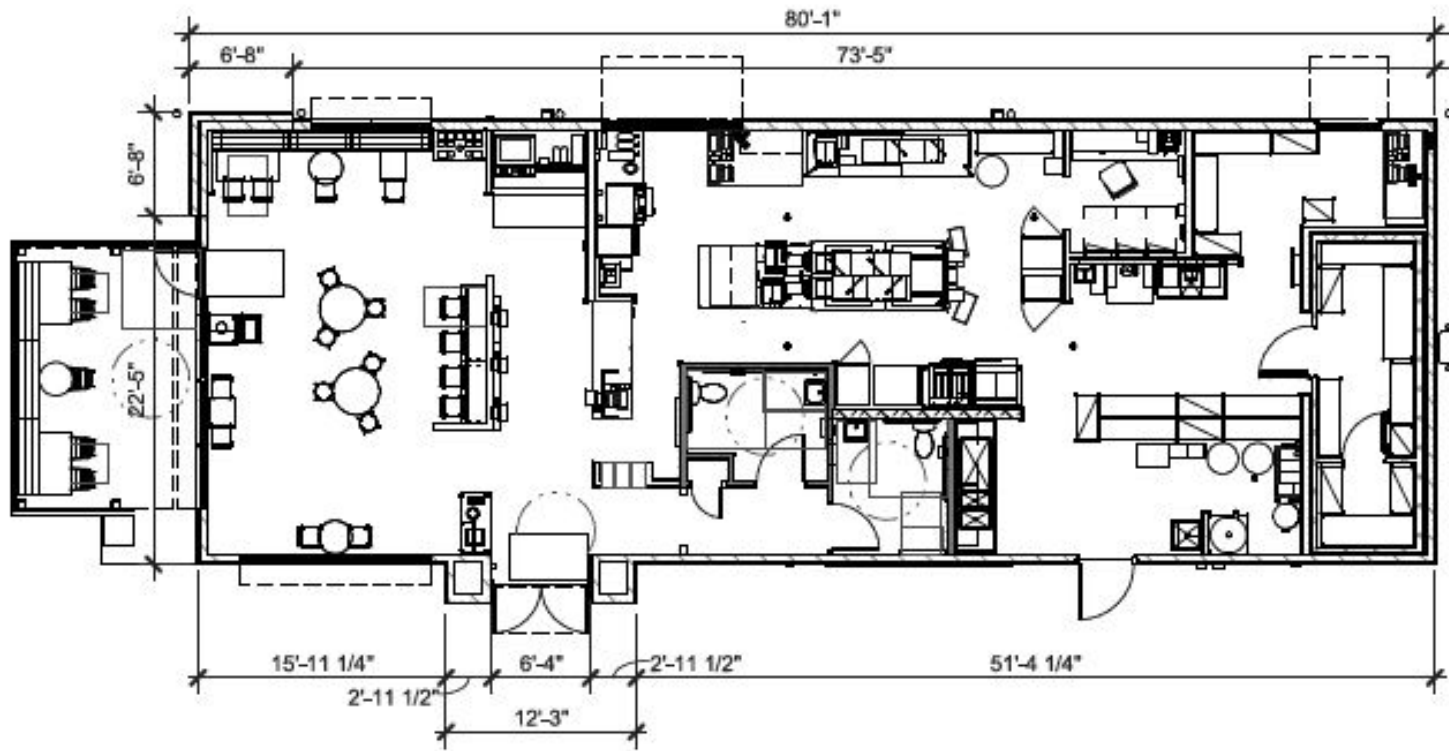


BELL™

**Store #041276
5613 Kingston Pike
Knoxville, TN
02/17/2023**

FLOOR PLAN

4-D-23-SU
2/23/2023



Scale: 1/8"=1'

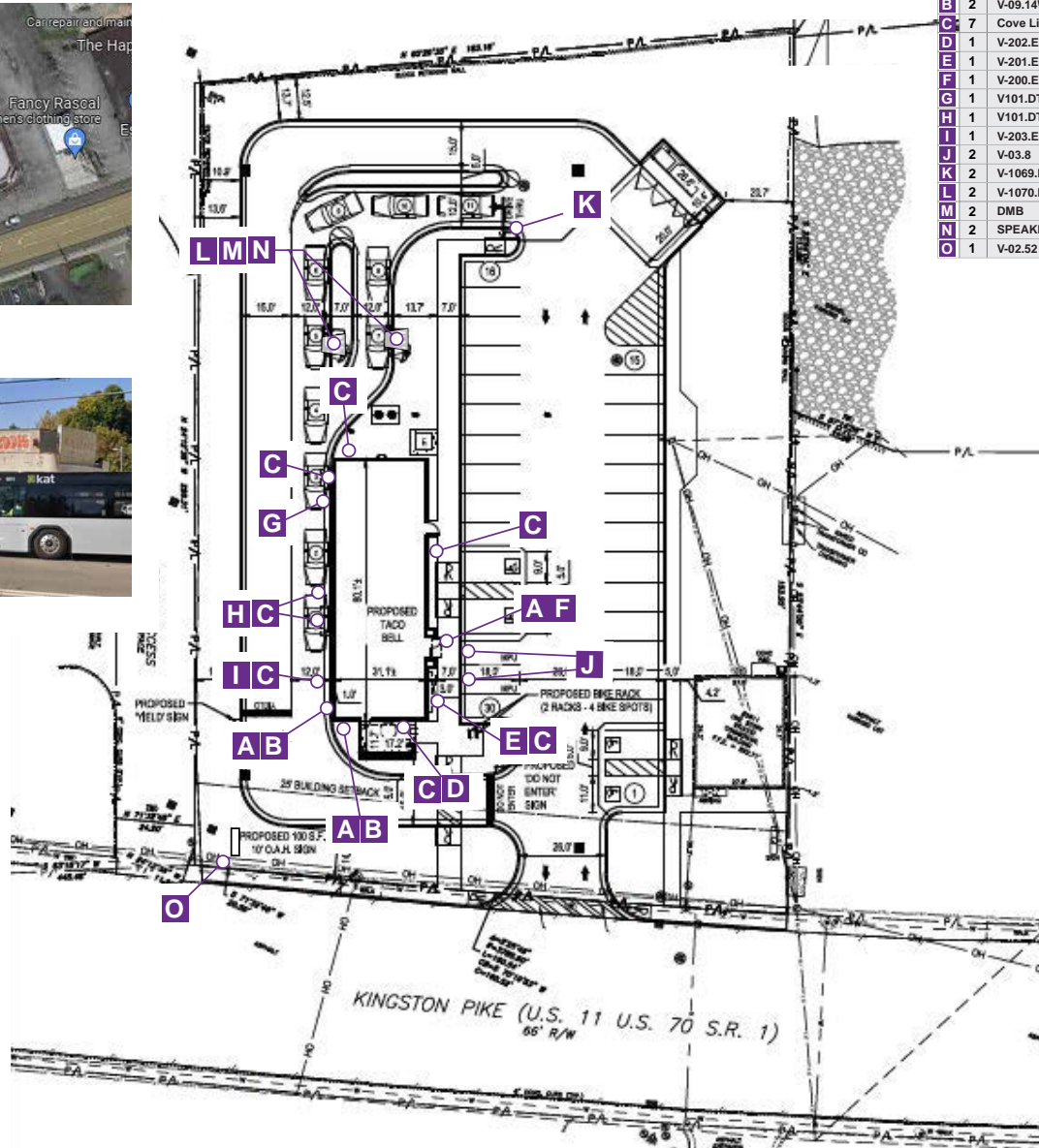
SITE PLAN



AERIAL VIEW



EXISTING BUILDING



Qty.	SIGN CODE	DESCRIPTION
A	3	V-04.42
B	2	V-09.14WSTK
C	7	Cove Lighting
D	1	V-202.EN-201
E	1	V-201.EN-99
F	1	V-200.EN-74
G	1	V101.DT.EN-60
H	1	V101.DT.EN-108
I	1	V-203.EN-92
J	2	V-03.8
K	2	V-1069.EN OPC
L	2	V-1070.EN OPC
M	2	DMB
N	2	SPEAKER POST
O	1	V-02.52

NOTE: GC to Confirm Awning Sizes.



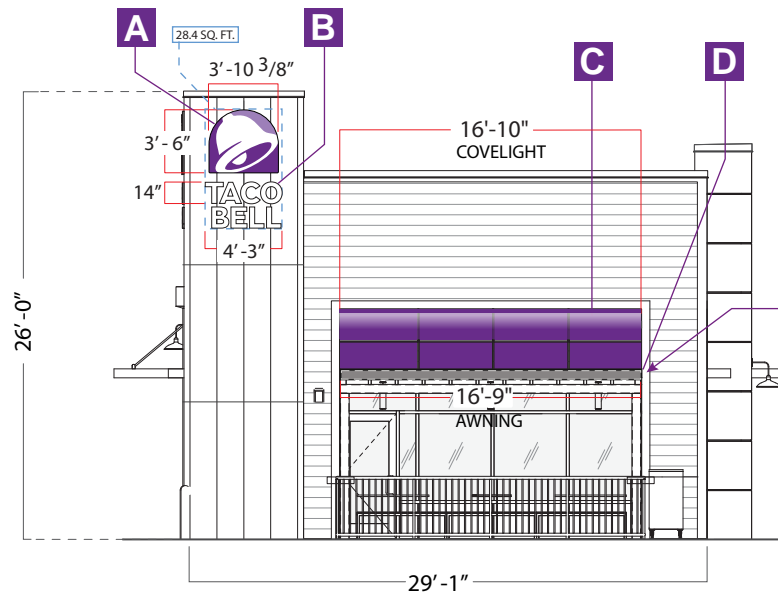
4-D-23-SU
2/23/2023



ELEVATIONS

	Qty.	SIGN CODE	DESCRIPTION
A	1	V-04.42	Large Swinging Bell - Purple, Face Lit - 3'-6" h x 3'-10 3/8" w
B	1	V-09.14WSTK	Medium TB 14" White Channel Letters, Wall Mount - Stacked
C	1	Cove Lighting	Cove Light Wall Downlighting, power supplies as necessary.
D	1	V-202.EN.200	Endeavor Eyebrow Awning - 16'-9" w x 1'-4" d - w/downlight - Black

NOTE: GC to Confirm Awning Sizes.



FRONT ELEVATION

NOTE: Refer to "Wall - Downlighting" cutsheets for layouts and specific details.

NOTE: The Cove Lighting is a low intensity LED illumination shining in a downward direction.

NOTE: FRONT ELEVATION EYEBROW AWNING SHOWN BEHIND PATIO CANOPY. 3" SPACE REQ.'D.



4-D-23-SU
2/23/2023

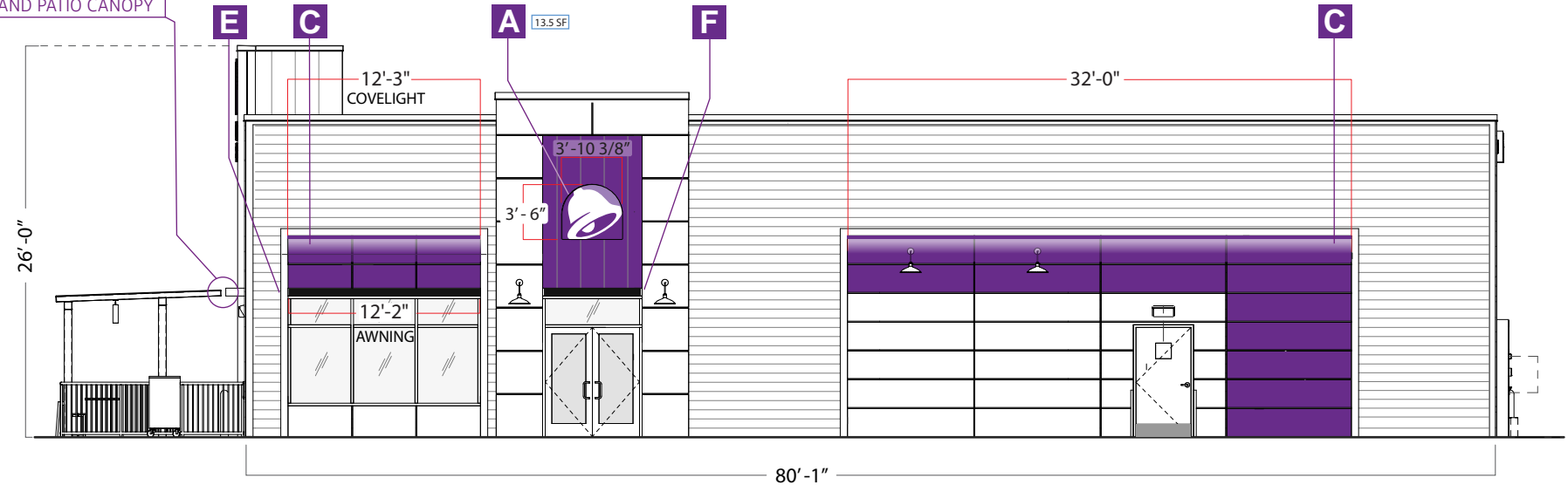
Scale: 3/32"=1'-0"

ELEVATIONS

	Qty.	SIGN CODE	DESCRIPTION
A	1	V-04.42	Large Swinging Bell - Purple, Face Lit - 3'-6" h x 3'-10 3/8" w
C	2	Cove Lighting	Cove Light Wall Downlighting, power supplies as necessary.
E	1	V-201.EN-146	Endeavor Eyebrow Awning - 12'-2" w x 1'-4" d - Black
F	1	V-200.EN-74	TAC-CANOPY-200- 6'2" L x 3'-0" D x 6" H Entrance Canopy w/downlight.

NOTE: GC to Confirm Awning Sizes.

NOTE: 3" SPACE REQ'D BETWEEN 16" DEEP EYEBROW AWNING AND PATIO CANOPY



PORTAL ELEVATION

NOTE: Refer to "Wall - Downlighting" cutsheets for layouts and specific details.
 NOTE: The Cove Lighting is a low intensity LED illumination shining in a downward direction.



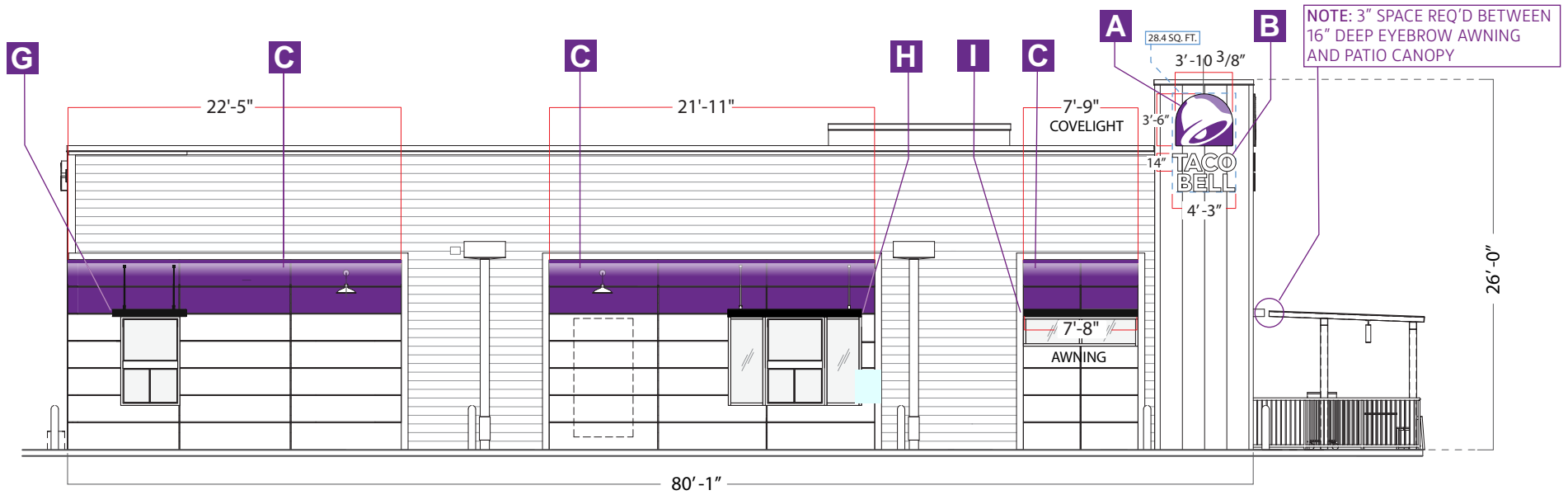
4-D-23-SU
2/23/2023

Scale: 3/32"=1'-0"

ELEVATIONS

	Qty.	SIGN CODE	DESCRIPTION
A	1	V-04.42	Large Swinging Bell - Purple, Face Lit - 3'-6" h x 3'-10 3/8" w
B	1	V-09.14WSTK	Medium TB 14" White Channel Letters, Wall Mount - Stacked
C	3	Cove Lighting	Cove Light Wall Downlighting, power supplies as necessary.
G	1	V-101.DT.EN-60	Endvr. Prepay DT Canopy - 5'-0" w x 4'-0" d - Turnbuckles/Downlight - Black
H	1	V-101.DT.EN-108	Endeavor DT Canopy - 9'-0" w x 4'-0" d - Turnbuckles/Downlight - Black
I	1	V-203.EN-92	Endeavor Eyebrow Awning - 7'-8" w x 1'-4" d - Black

NOTE: GC to Confirm Awning Sizes.



DRIVE-THRU ELEVATION

NOTE: Refer to "Wall - Downlighting" cutsheets for layouts and specific details.

NOTE: The Cove Lighting is a low intensity LED illumination shining in a downward direction.

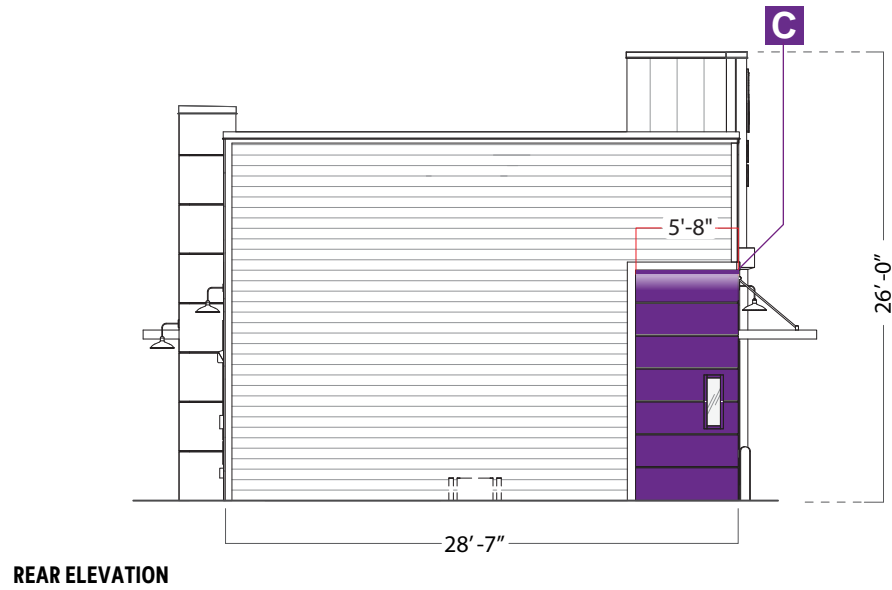


4-D-23-SU
2/23/2023

Scale: 3/32"=1'-0"

ELEVATIONS

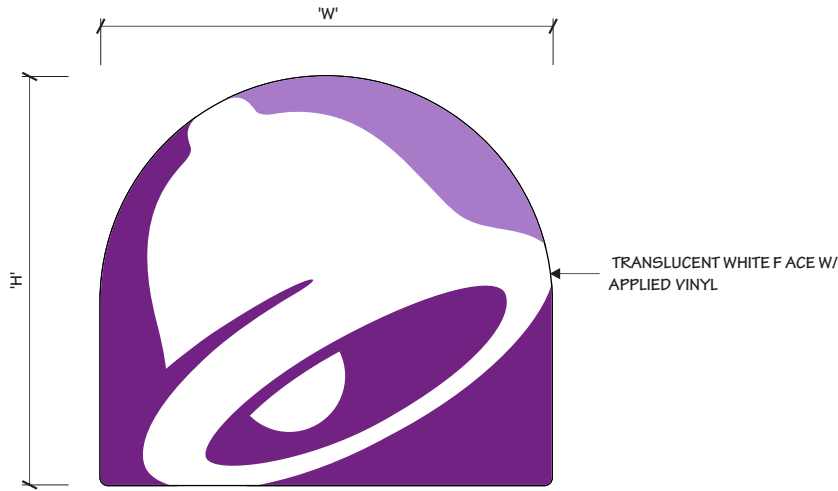
Qty.	SIGN CODE	DESCRIPTION
C 1	Cove Lighting	Cove Light Wall Downlighting, power supplies as necessary.



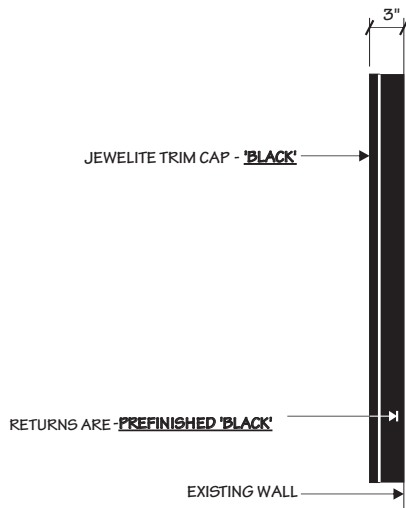
4-D-23-SU
2/23/2023

Scale: 3/32"=1'-0"

A TAC-BELL-42P-FL



FRONT ELEVATION
NTS



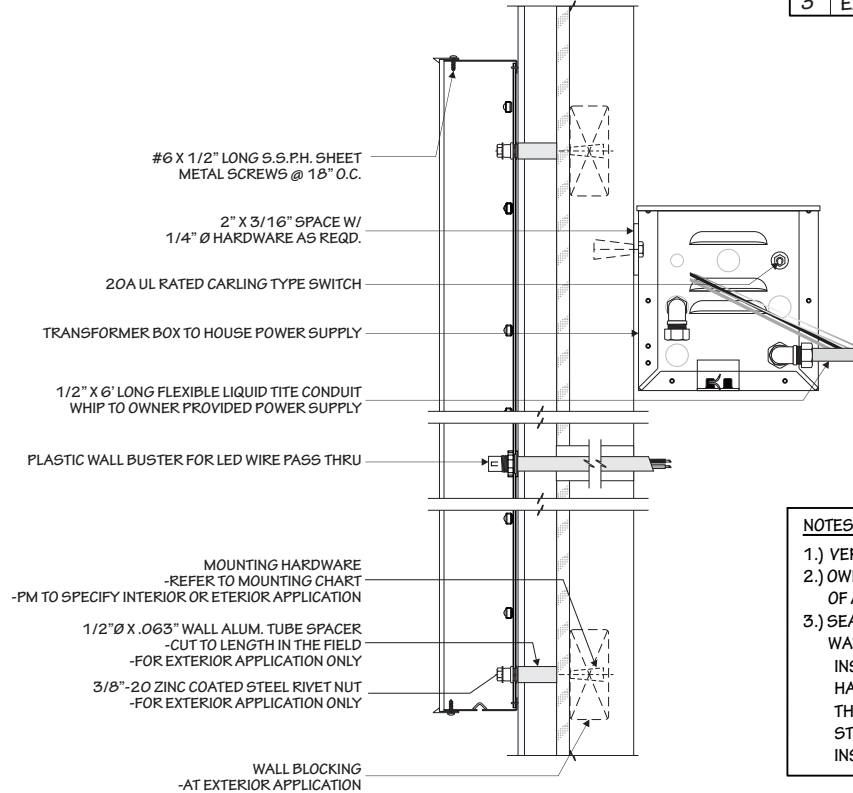
SIDE VIEW
NTS

NOTE:
1.) THIS DRAWING IS FOR INSTALLATION PURPOSES ONLY.
2.) BELL SIZE VARIES PER LOCATION
3.) SHOP TO PROVIDE TOUCH UP PAINT TO INSTALLER.

SIGN SCHEDULE				
QTY	INT/EXT	SIGN TYPE	'H'	'W'
		BELL-EX	2'-0 1/8"	± 2'-2 5/8"
		BELL-SM	2'-6"	± 2'-9 1/8"
		BELL-MD	3'-0"	± 3'-3 3/8"
3	EXT.	BELL-LG	3'-6"	± 3'-10 3/8"

MOUNTING HARDWARE	
Exterior -	3/8" ZINC PLATED STEEL THREADED ROD THRU WALL W/BLOCKING
Interior -	3/8" SNAP TOGGLE BOLTS
NOTES:	
1.) THREADED ROD WILL BE PROVIDED STANDARD, ALL OTHER HARDWARE IS TO BE PROVIDED BY THE INSTALLER AS REQUIRED.	
2.) DESIGN INTENDED FOR NO GREATER THAN 3RD STORY MOUNTING - HIGHER ELEVATIONS REQUIRE REVIEW.	

SIGN SCHEDULE				
QTY	INT/EXT	SIGN TYPE	'H'	'W'
1	EXT.	BELL-EX	2'-0 1/8"	± 2'-2 5/8"
		BELL-SM	2'-6"	± 2'-9 1/8"
		BELL-MD	3'-0"	± 3'-3 3/8"
3	EXT.	BELL-LG	3'-6"	± 3'-10 3/8"



SECTION
NTS

NOTES:
1.) VERIFY MOUNTING CONDITION.
2.) OWNER SUPPLIED POWER TO BE WITHIN 5'-0" OF AGI TRANSFORMER BOXES.
3.) SEAL ALL WALL PENETRATIONS TO PREVENT WATER INTRUSION AS FOLLOWS:
INSTALL BUSHING AFTER E.I.F.S. APPLICATION HAS HARDENED. DRILL HOLE SLIGHTLY LARGER THAN BUSHING THROUGH INSULATION ONLY. STOP AT PLYWOOD. CAULK OPENING PRIOR TO INSERTING FASTENER TO SEAL PENETRATION.



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2/23/2023

B TAC-CL14W-ST

MOUNTING APPLICATION	
INTERIOR	EXTERIOR
	X

SIGN SCHEDULE				
QTY	SIGN TYPE	H'	W'	A'
	TB-10-W	10"	± 6'-1 1/16"	N/A
	TB-12-W	12"	± 7'-3 11/16"	N/A
	TB-14-W	14"	± 8'-6 5/16"	N/A
	TB-16-W	16"	± 9'-9"	N/A
	TB-10-W-ST	10"	± 3'-0 3/8"	± 1'-9 11/16"
	TB-12-W-ST	12"	± 3'-7 5/8"	± 2'-2"
2	TB-14-W-ST	14"	± 4'-2 7/8"	± 2'-6 5/16"
	TB-16-W-ST	16"	± 4'-10 1/8"	± 2'-10 11/16"

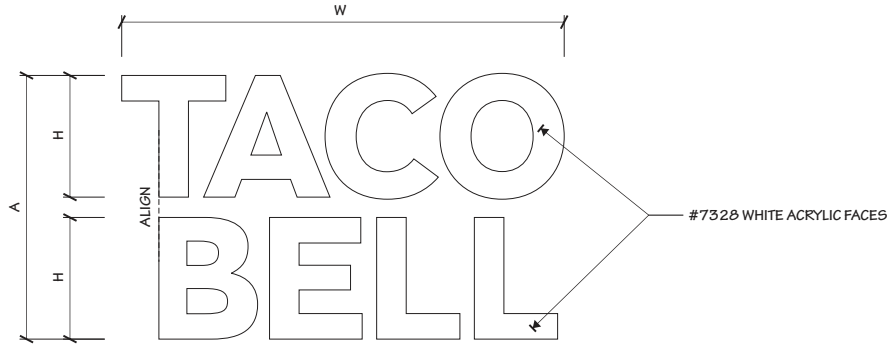
MOUNTING HARDWARE	
Exterior -	3/8" ZINC PLATED STEEL THREADED ROD THRU WALL W/BLOCKING
Interior -	3/8" SNAP TOGGLE BOLTS

NOTES:

- 1.) THREADED ROD WILL BE PROVIDED STANDARD, ALL OTHER HARDWARE IS TO BE PROVIDED BY THE INSTALLER AS REQUIRED.
- 2.) DESIGN INTENDED FOR NO GREATER THAN 3RD STORY MOUNTING - HIGHER ELEVATIONS REQUIRE REVIEW.

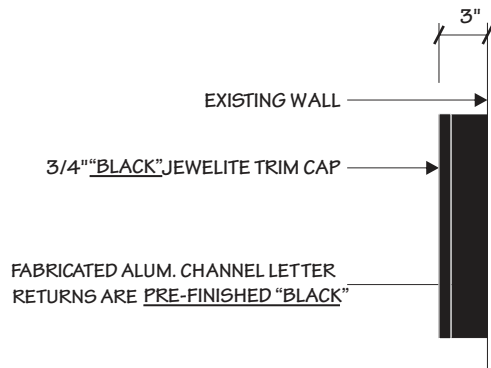
NOTES:

- 1.) VERIFY MOUNTING CONDITION.
- 2.) OWNER SUPPLIED POWER TO BE WITHIN 5'-0" OF AGI TRANSFORMER BOXES.
- 3.) SEAL ALL WALL PENETRATIONS TO PREVENT WATER INTRUSION AS FOLLOWS:
INSTALL BUSHING AFTER E.I.F.S. APPLICATION HAS HARDENED. DRILL HOLE SLIGHTLY LARGER THAN BUSHING THROUGH INSULATION ONLY. STOP AT PLYWOOD. CAULK OPENING PRIOR TO INSERTING FASTENER TO SEAL PENETRATION.



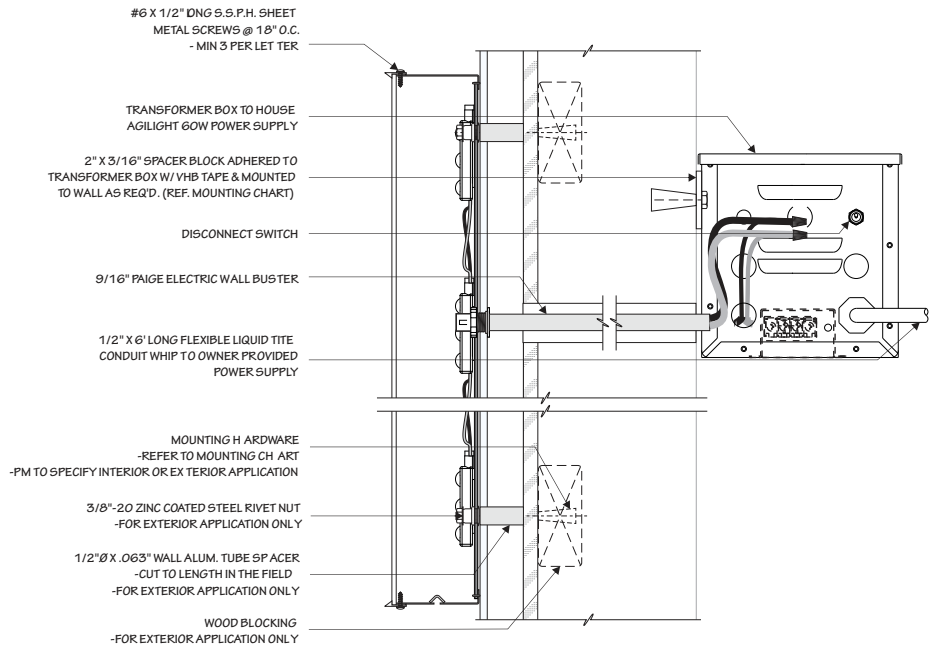
STACKED FRONT ELEVATION

NTS



CHANNEL LETTER SIDE VIEW TYP.

NTS



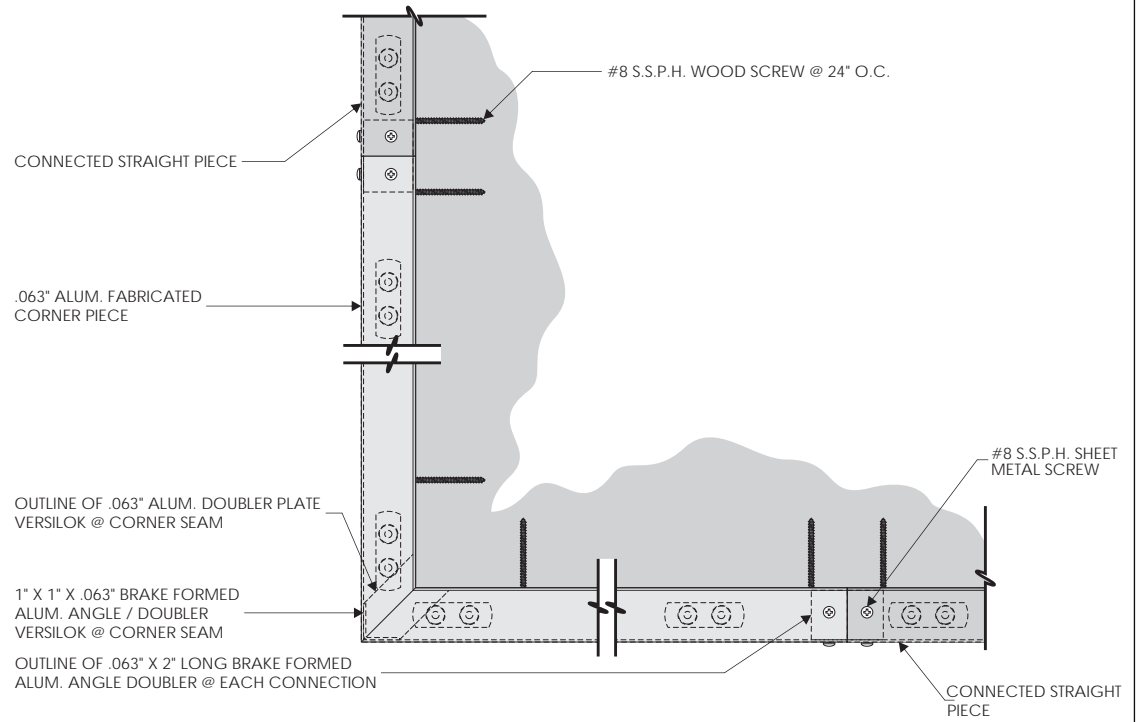
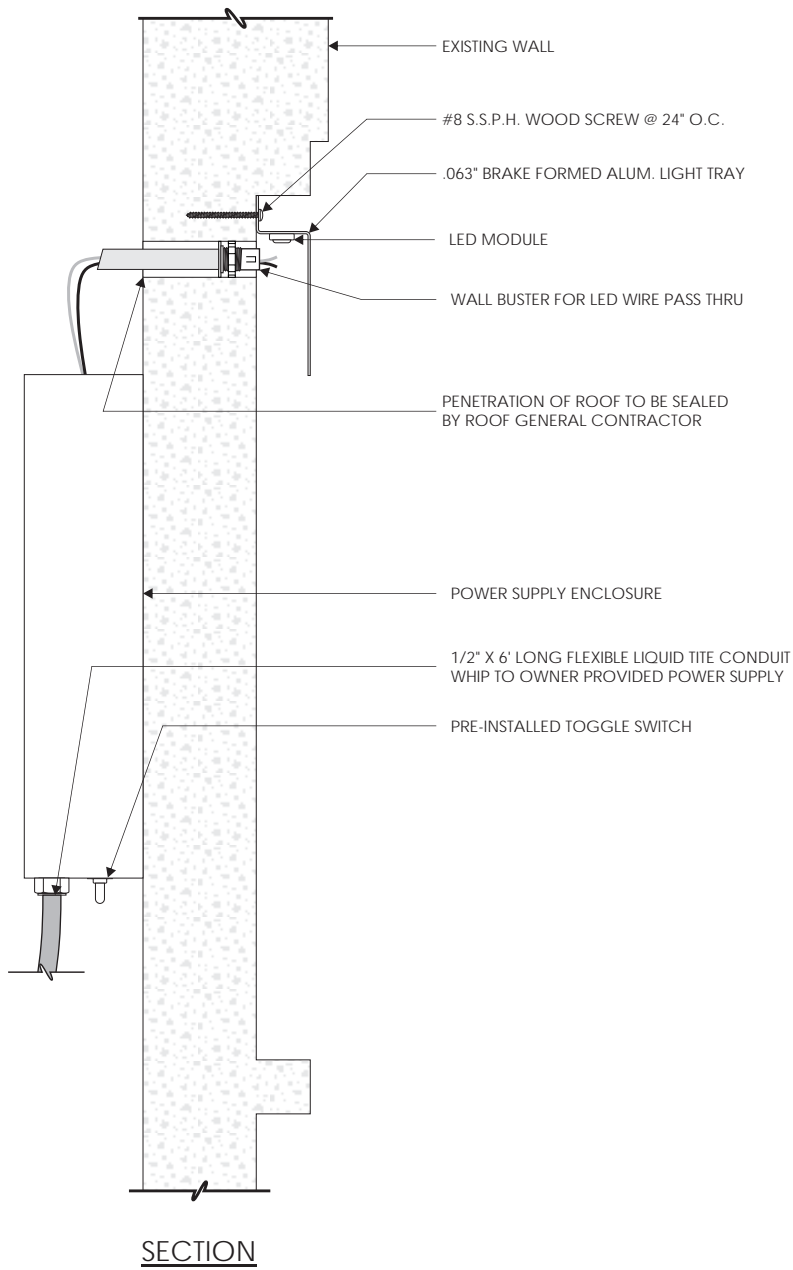
SIDE SECTION

NTS

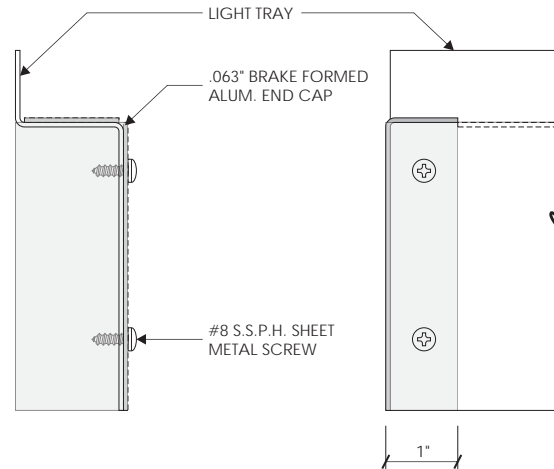


4-D-23-SU
2/23/2023

C PURPLE LED WALL DOWNLIGHTING



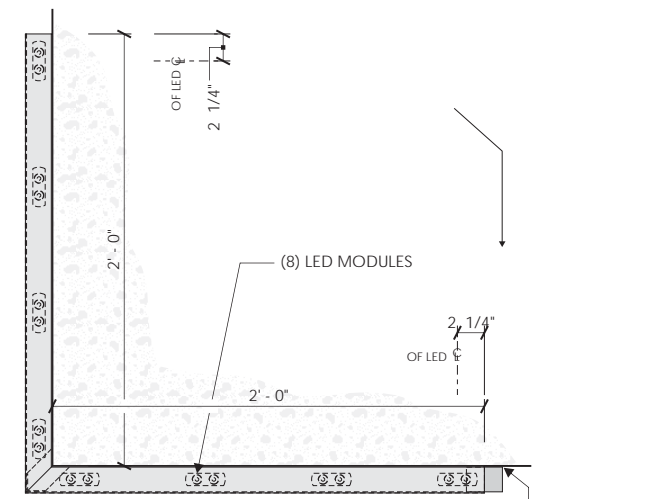
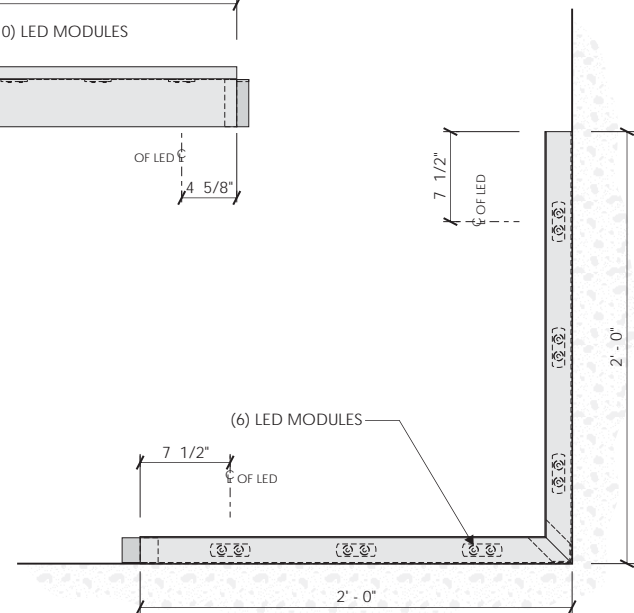
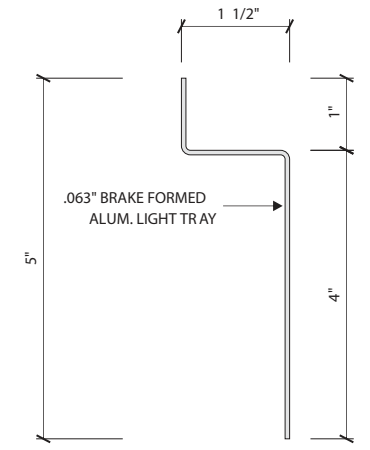
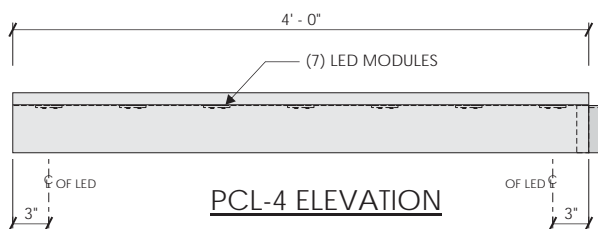
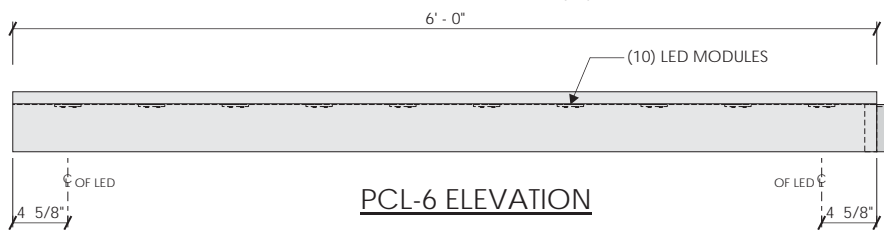
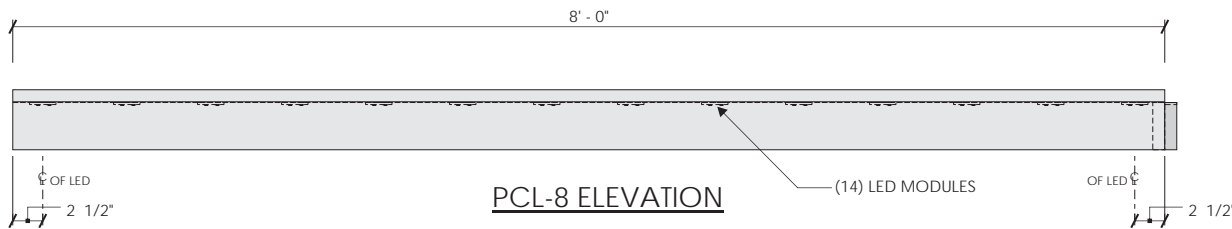
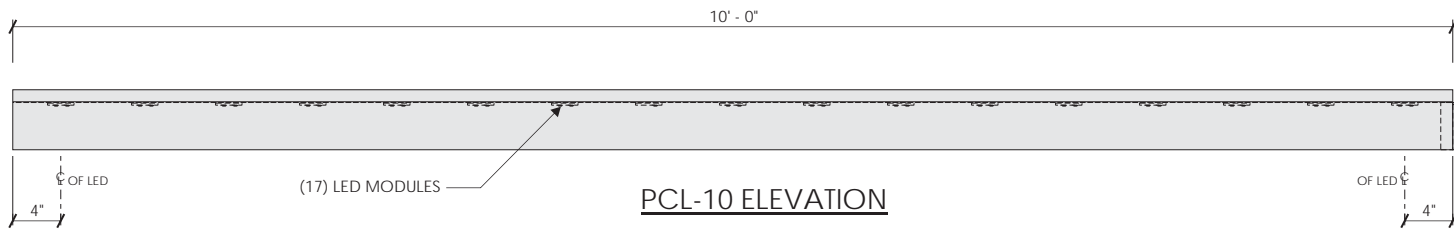
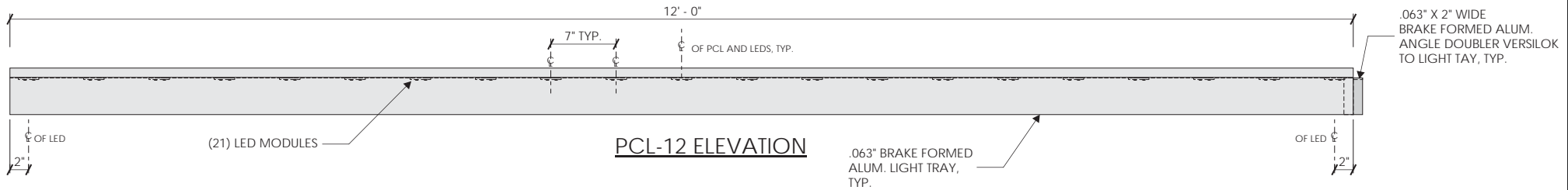
CORNER PIECE STRUCTURAL PLAN VIEW / CONNECTION DETAIL



END CAP
no scale

C PURPLE LED WALL DOWNLIGHTING

4-D-23-SU
2/23/2023



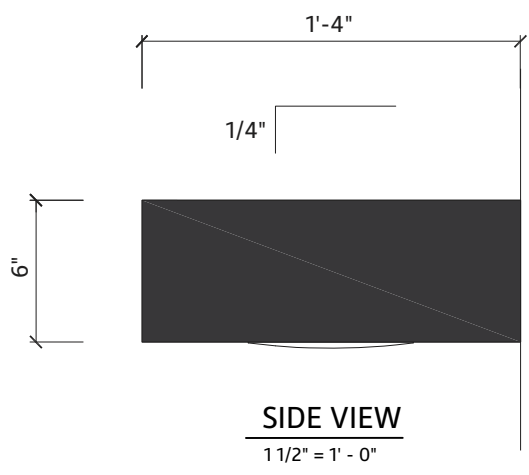
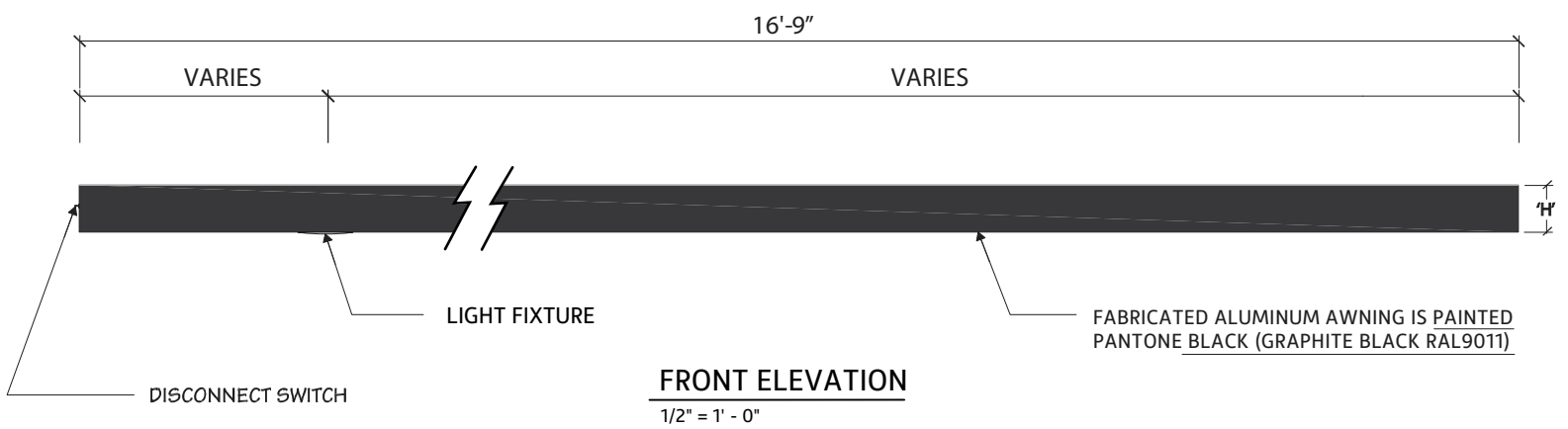
.063" X 2" WIDE BRAKE FORMED ALUM. ANGLE DOUBLER VERSILOK TO CORNER PIECE, TYP.



D TAC-C16-EN-201-DL-L

NOTE: Actual Width May Vary
Field verify dimension.

- NOTES:**
- 1.) SHOP TO PROVIDE TOUCH UP PAINT TO INSTALLER.
 - 2.) INSTALLER TO MOUNT AWNING SLOPED AWAY FROM BUILDING AS SHOWN.

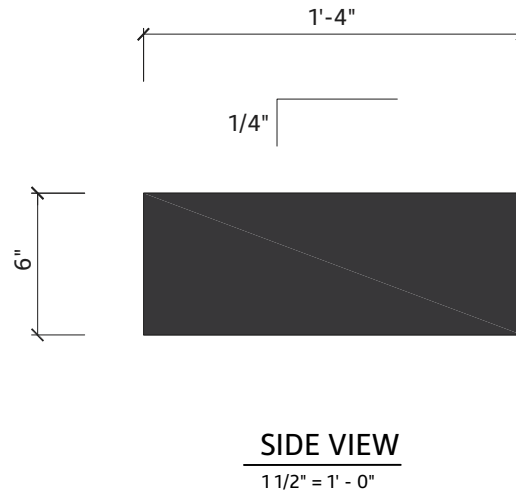
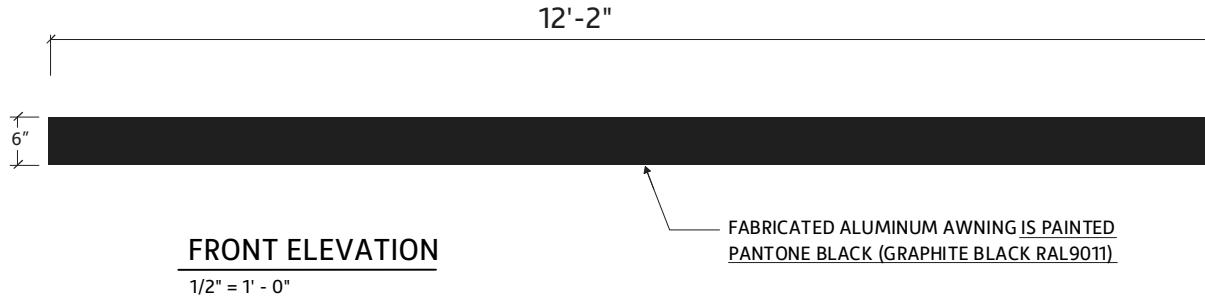


4-D-23-SU
2/23/2023

E TAC-A16-EN-99-NIL

NOTE: Actual Width May Vary
Field verify dimension.

NOTES:
1.) SHOP TO PROVIDE TOUCH UP PAINT TO INSTALLER.
2.) INSTALLER TO MOUNT AWNING SLOPED AWAY FROM BUILDING AS SHOWN.

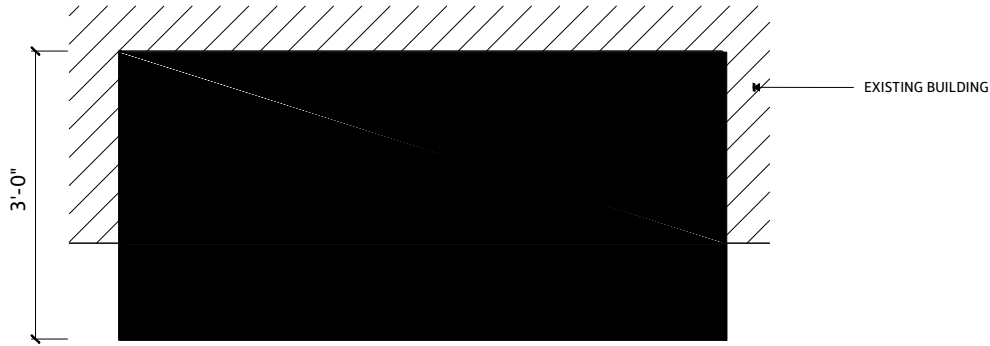


4-D-23-SU
2/23/2023

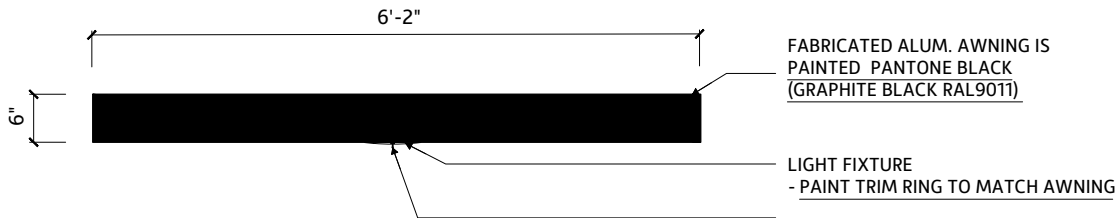
F TAC-C36-EN-74-DL

NOTE: Actual Width May Vary
Field verify dimension.

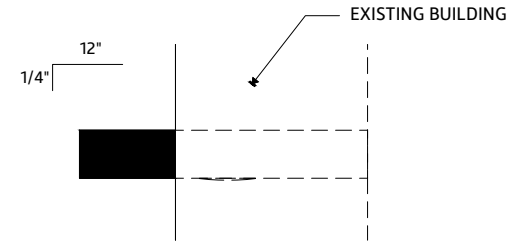
NOTES:
1.) SHOP TO PROVIDE TOUCH UP PAINT TO INSTALLER.
2.) INSTALLER TO MOUNT AWNING SLOPED AWAY FROM BUILDING AS SHOWN.



3 PLAN VIEW
1 1/2" = 1' - 0"



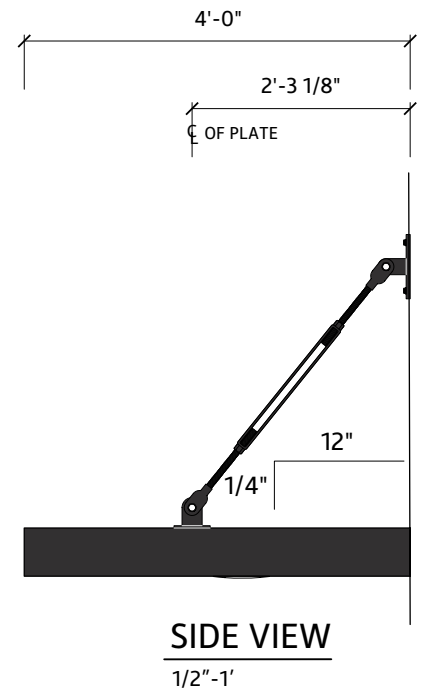
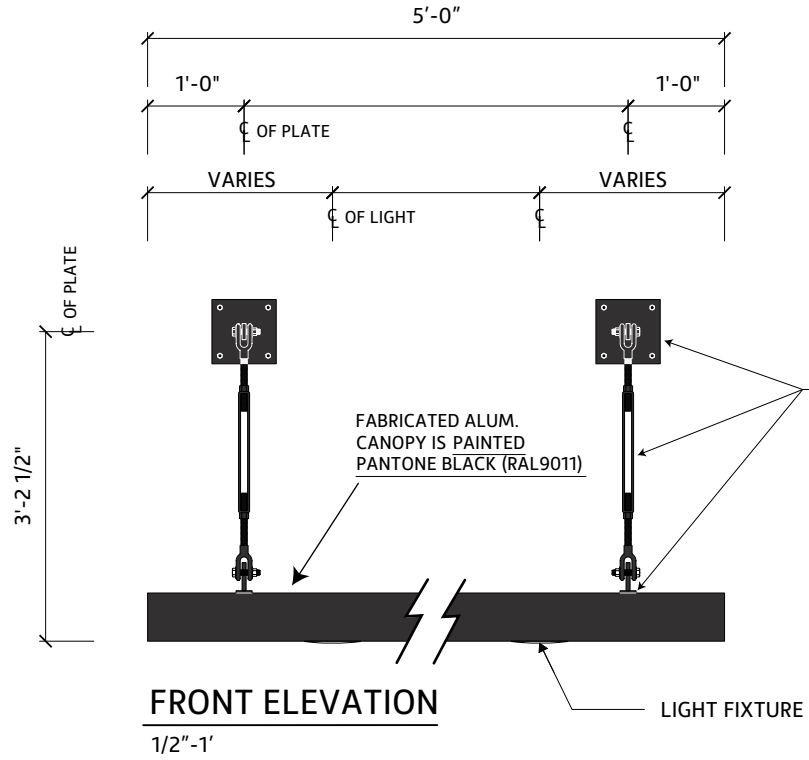
1 FRONT ELEVATION
1 1/2" = 1' - 0"



2 SIDE VIEW
1 1/2" = 1' - 0"

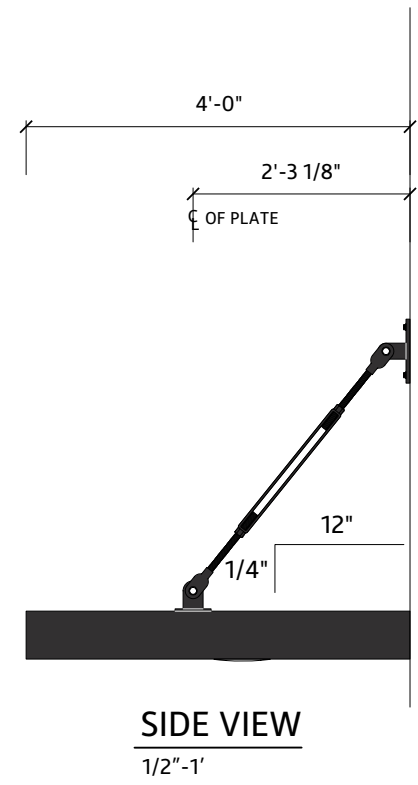
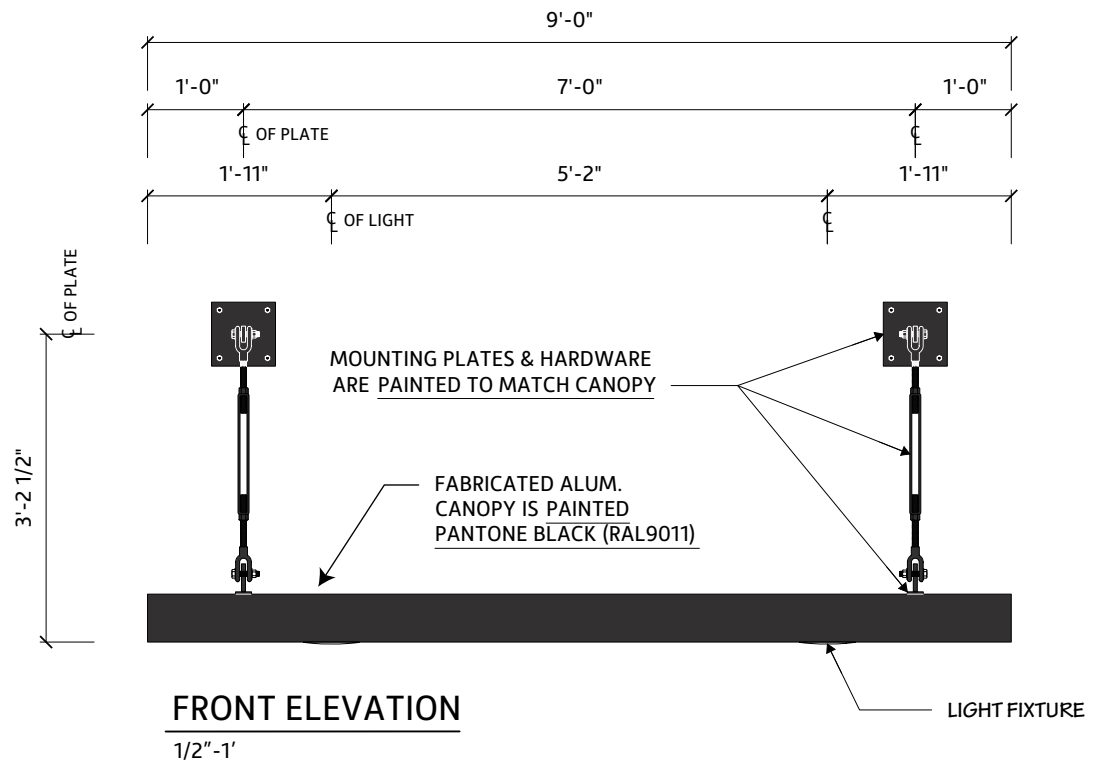
G TAC-C48-EN-60-DL-TBK

NOTES:
 1.) SHOP TO PROVIDE TOUCH UP PAINT TO INSTALLER.
 2.) INSTALLER TO MOUNT AWNING SLOPED AWAY FROM BUILDING AS SHOWN.



H TAC-C48-EN-108-DL-TBK

NOTES:
 1.) DRAWING IS FOR INSTALLATION PURPOSES ONLY.
 2.) SHOP TO PROVIDE TOUCH UP PAINT FOR INSTALLER.
 3.) INSTALLER TO MOUNT AWNING SLOPED AWAY FROM BUILDING AS SHOWN.

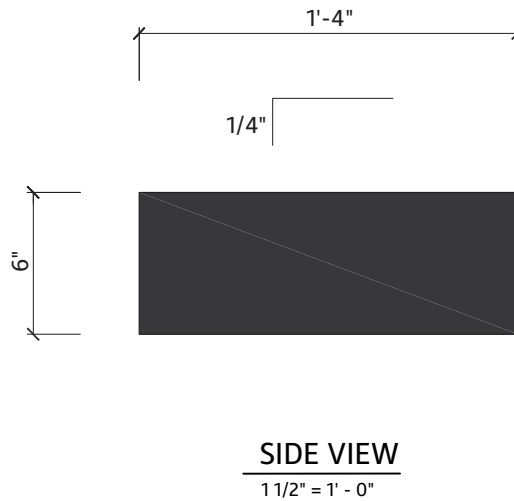
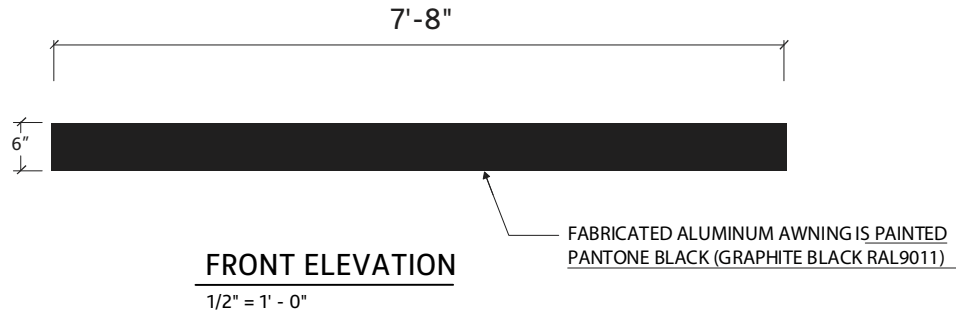


4-D-23-SU
 2/23/2023

1 TAC-A16-EN-92-NIL

NOTE: Actual Width May Vary
Field verify dimension.

NOTES:
1.) SHOP TO PROVIDE TOUCH UP PAINT TO INSTALLER.
2.) INSTALLER TO MOUNT AWNING SLOPED AWAY
FROM BUILDING AS SHOWN.

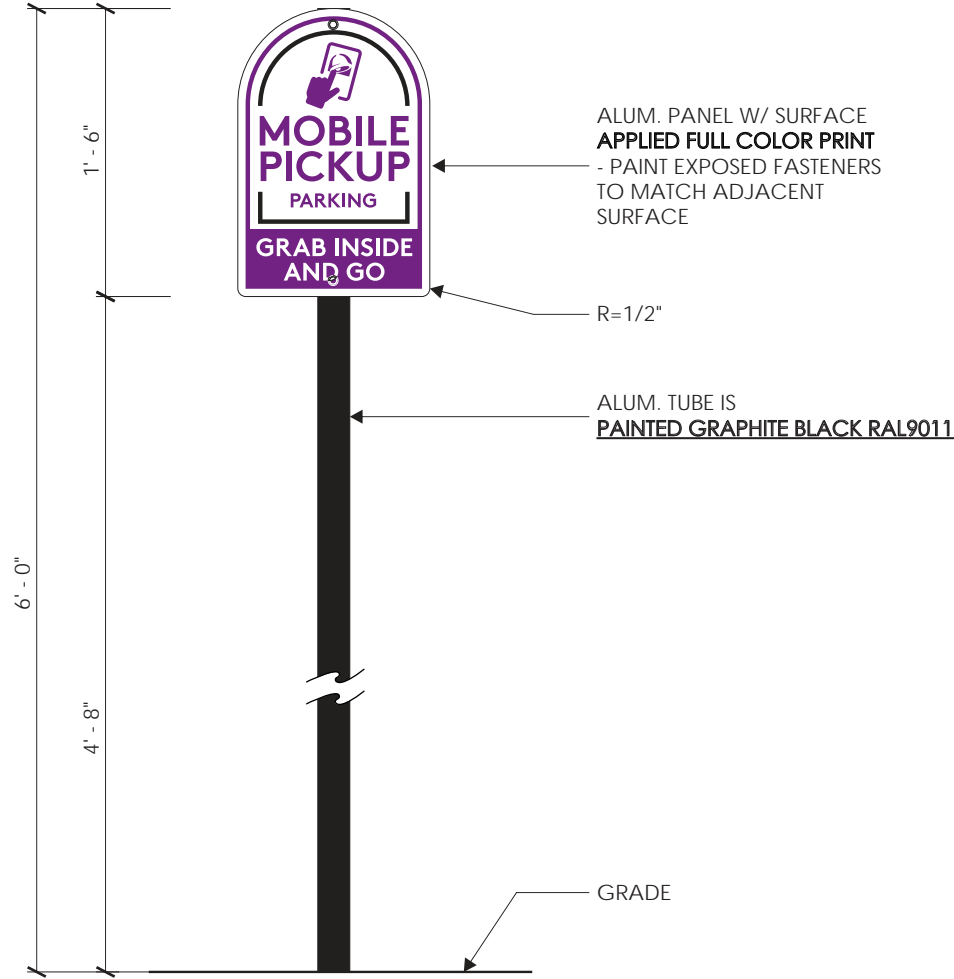
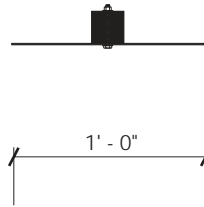


4-D-23-SU
2/23/2023

J TAC-DMP-OP

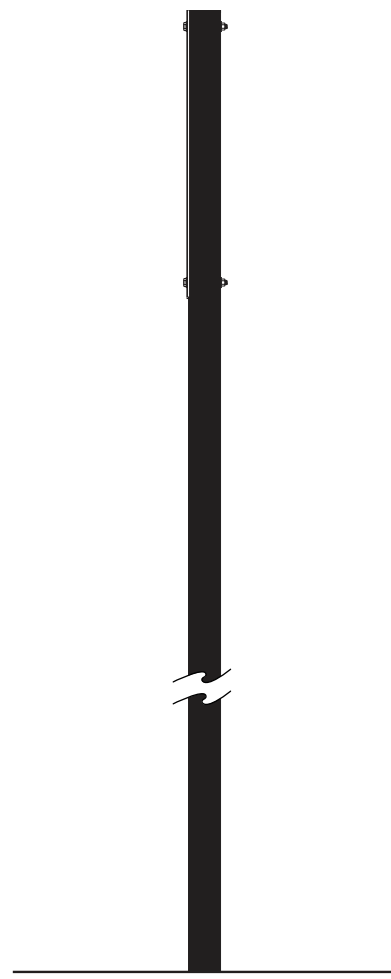
Qty. - 2

PLAN VIEW



FRONT ELEVATION

1" = 1' - 0"



SIDE VIEW

1" = 1' - 0"

4-D-23-SU
2/23/2023



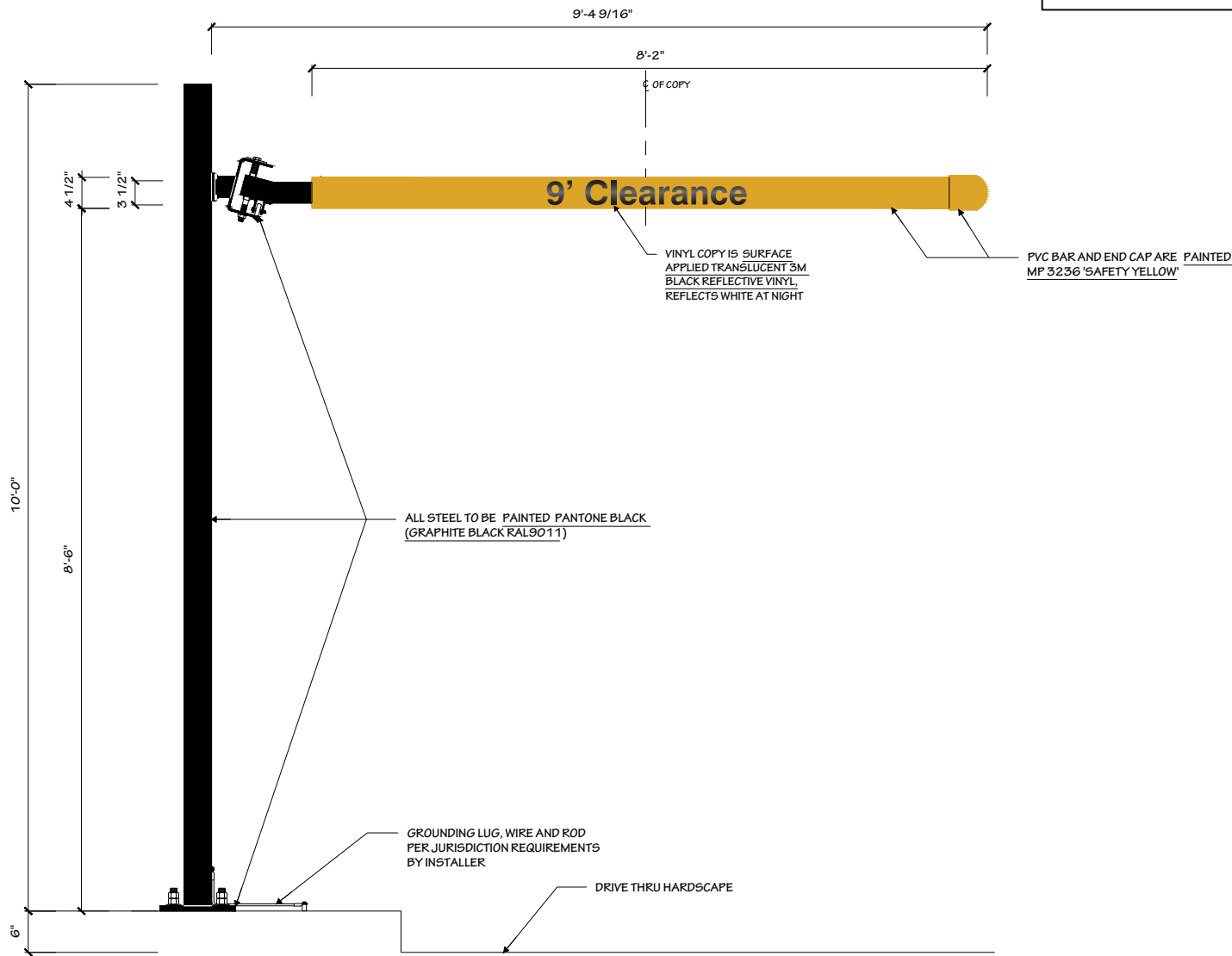
K TAC-CLB1

Qty. - 1

NOTES:

- 1.) PM TO SPECIFY COPY ORIENTATION PRIOR TO FABRICATION.
- 2.) SHOP TO PROVIDE INSTALL HARDWARE AND TOUCH UP PAINT TO INSTALLER.

COPY ORIENTATION	
X	POLE ON LEFT
	POLE ON RIGHT



FRONT ELEVATION (COPY W/ POLE ON LEFT)

1/2" = 1' - 0"

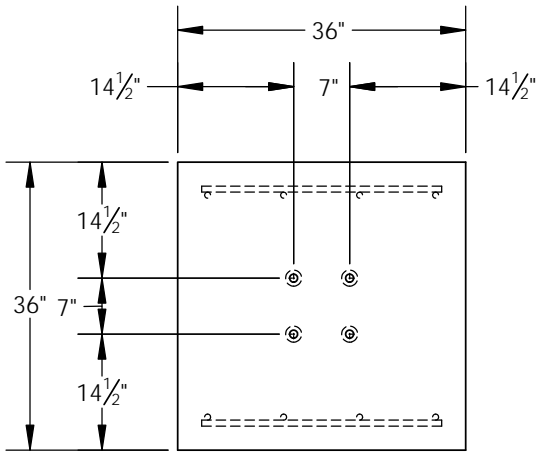


NOTE: INSTALL ON NEW FOUNDATION PROVIDED BY GC

4-D-23-SU
2/23/2023

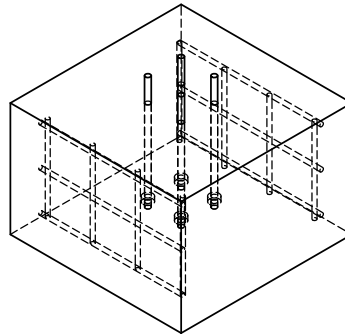
K TAC-CLEARANCE-EN - Foundation Types

NOTES:
1.) SHOP TO PROVIDE INSTALL HARDWARE AND TOUCH UP PAINT TO INSTALLER.

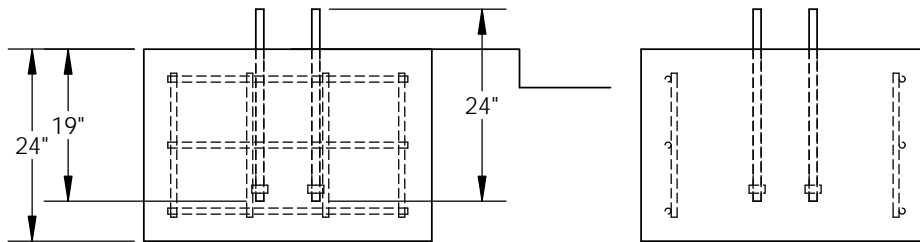


PLAN VIEW

NTS



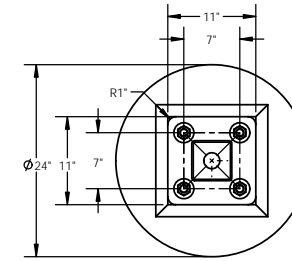
Isometric View



VERTICAL SLAB FOUNDATION

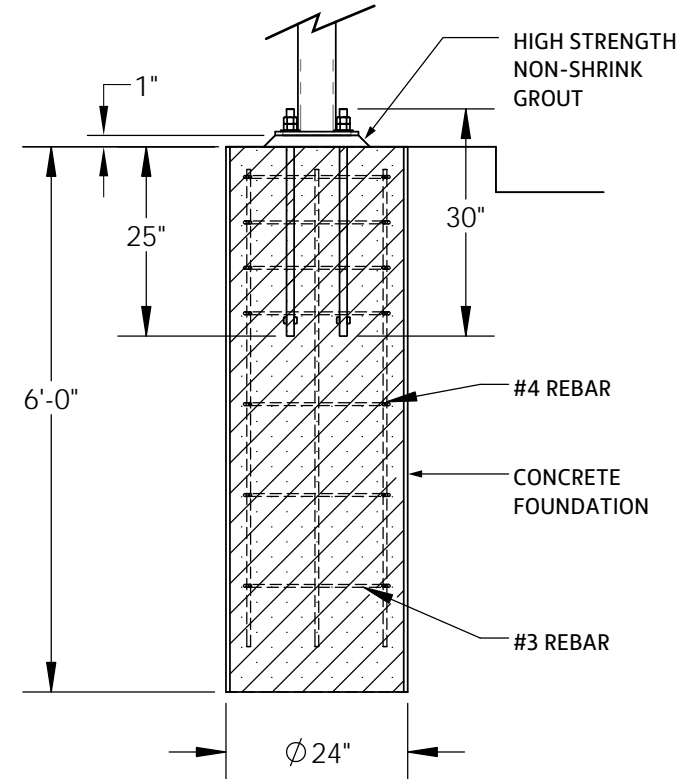
NTS

2,500 PSI CONCRETE FOUNDATION
REINFORCED WITH #6AT 12" O.C .
MAXIMUM, EACH WAY, EACH FACE.



PLAN VIEW

NTS



CAISSON FOUNDATION

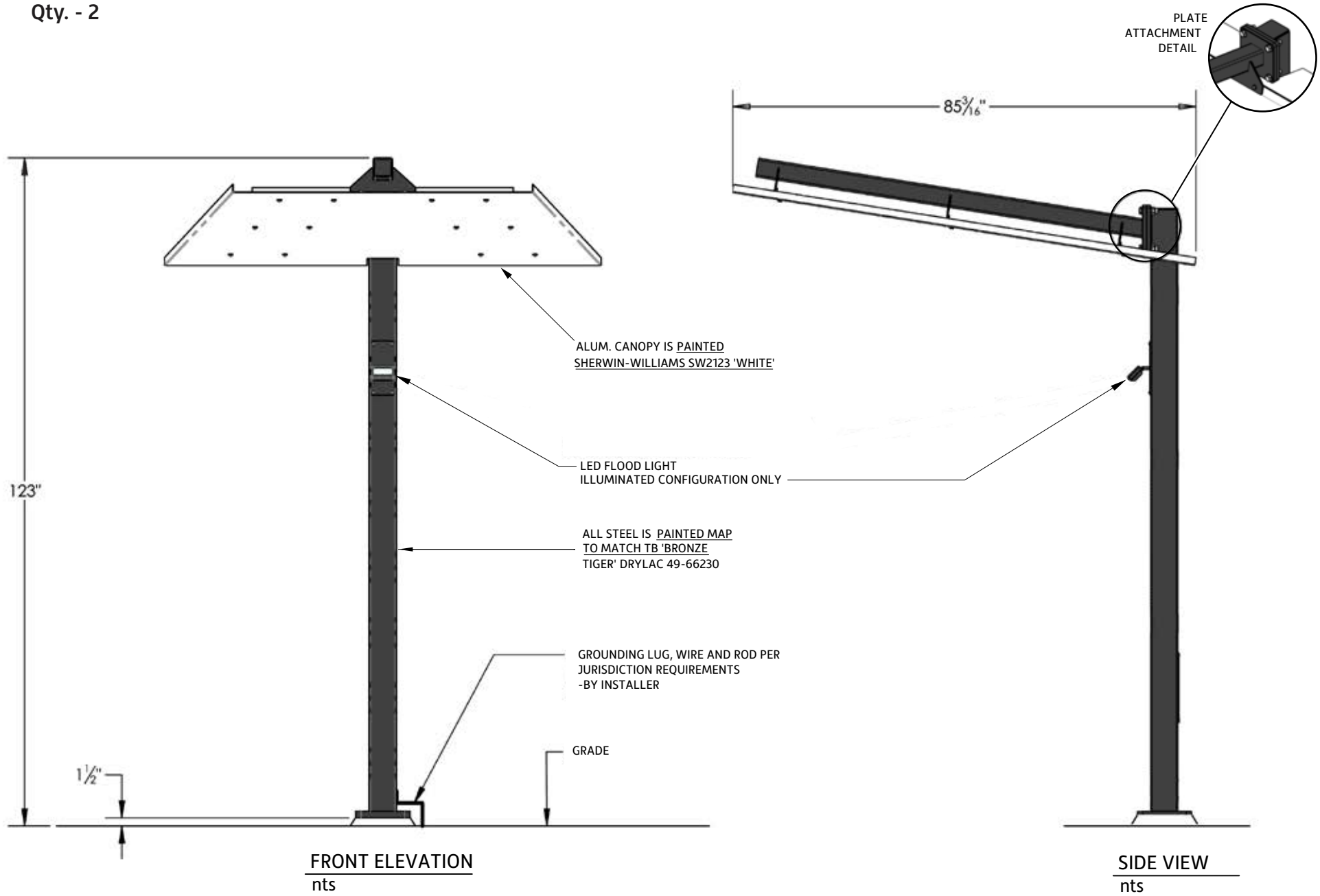
NTS

4-D-23-SU
2/23/2023



TAC-100-EN-OPC

Qty. - 2

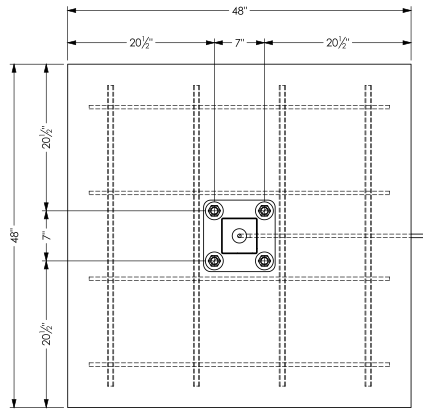


NOTE: INSTALL ON NEW FOUNDATION PROVIDED BY GC

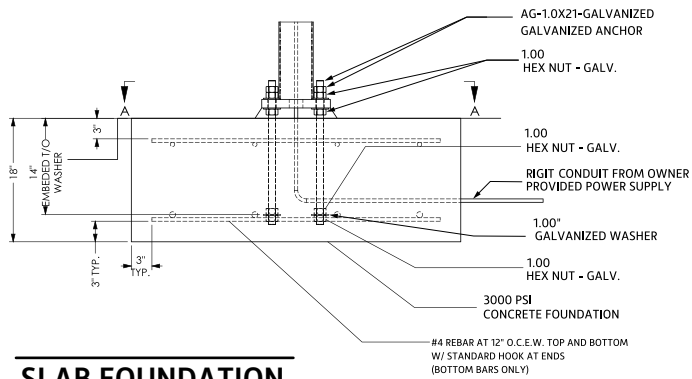
4-D-23-SU
2/23/2023

TAC-OPC-EN Foundation Types/Electrical Details

TAC100-EN-OPC-IL-FDN-S



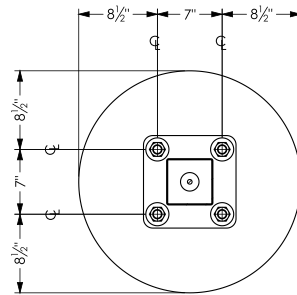
SECTION A-A



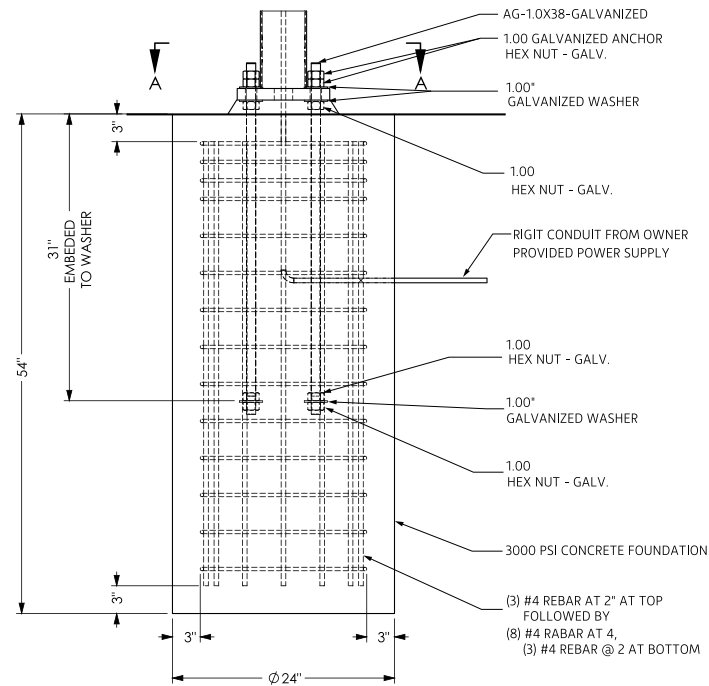
SLAB FOUNDATION

no scale

TAC100-EN-OPC-IL-FDN-C

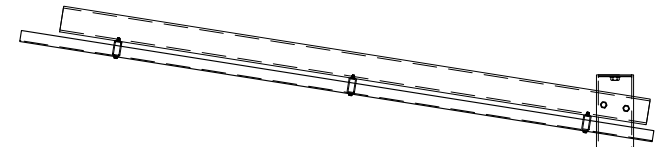


SECTION A-A



CAISSON FOUNDATION

no scale



MAX LITE LED FLOOD LIGHT
 MSF15UW-40BKT (PREFERRED)

CONDUIT TO
 LED LIGHT FIXTURE

WATERPROOF
 JBOX

LIQUID TITE CONDUIT
 TO OWNER PROVIDED
 POWER SUPPLY

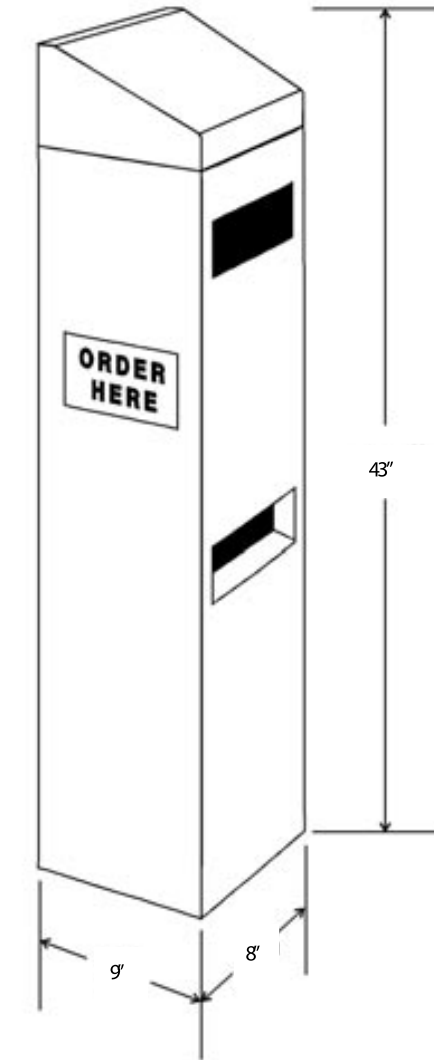
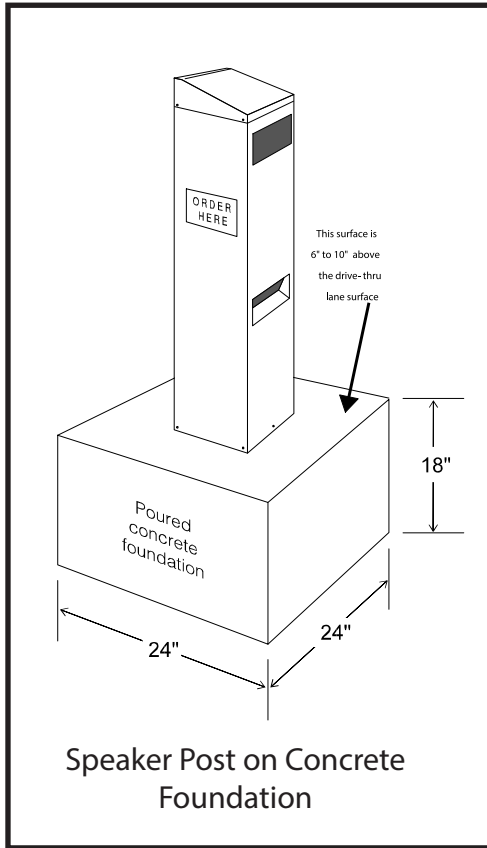
ELECTRICAL SIDE VIEW
 NTS



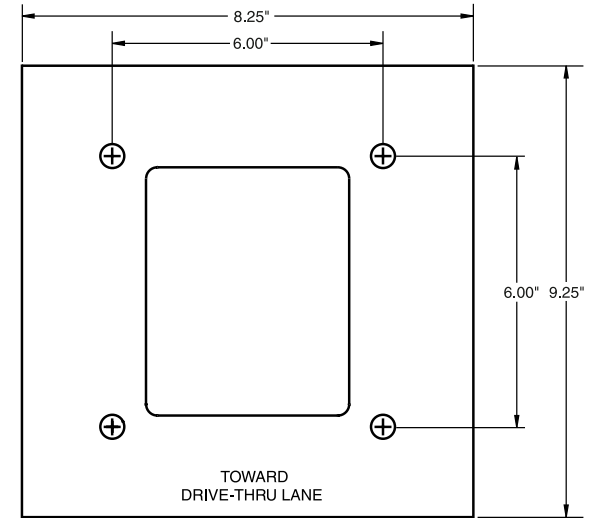
4-D-23-SU
 2/23/2023

M HME SPP2 Speaker Post

Qty. - 2



Speaker Post Dimensions



Mounting Template Diagram



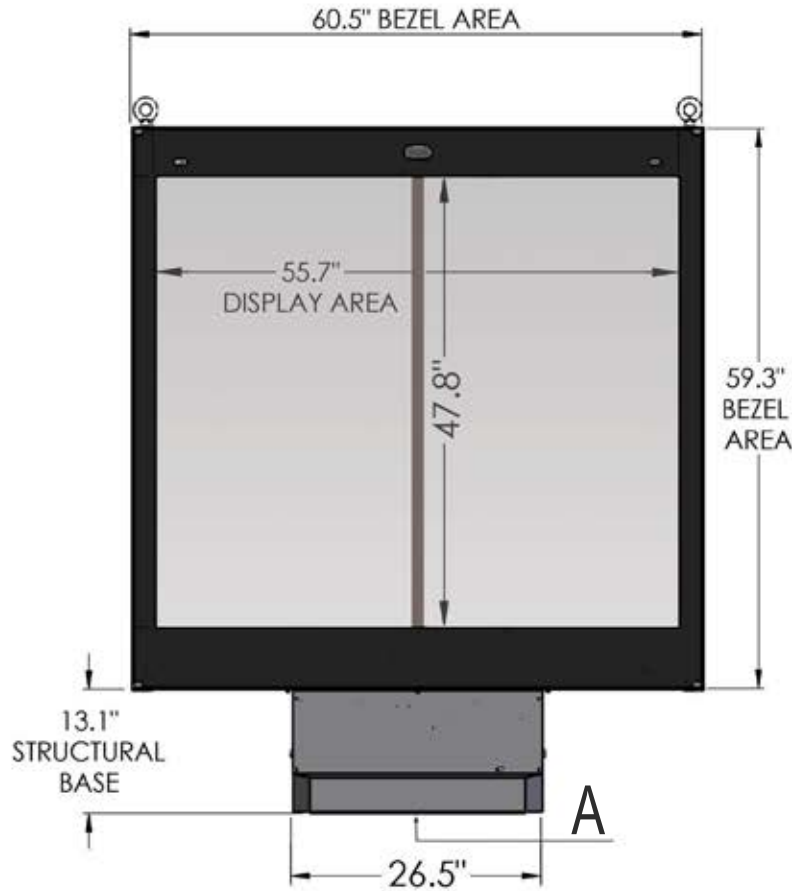
NOTE: INSTALL ON NEW FOUNDATION PROVIDED BY GC

4-D-23-SU
2/23/2023

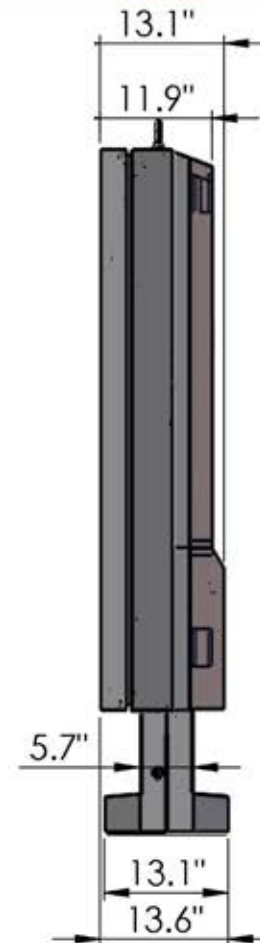
N TAC-DMB-EXT-INSTALL

Qty. - 2

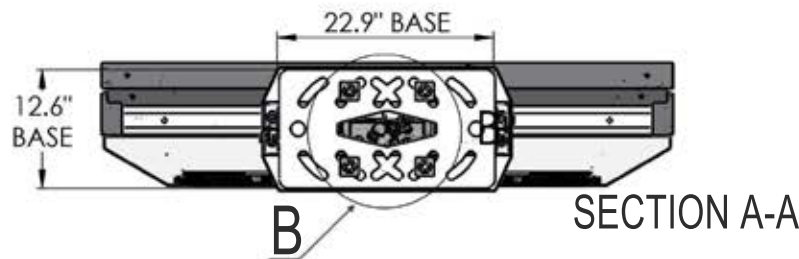
NOTE: INSTALL ON NEW FOUNDATION PROVIDED BY GC



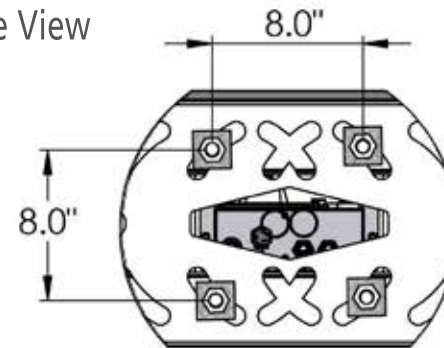
Front View



Side View



SECTION A-A



DETAIL B-B

GENERAL SPECS

Material: Aluminum exterior with tube steel inner frame.
Certified 180 MPH

Surface Treatment:
- Pretreatment - zinc primer & polyester powder coating

Surface Area:
- Display: 18.5 sq/ft
- Total surface: 24.9 sq/ft

Weight:
- Gross: 915 lbs / Net: 705 lbs

ELECTRICAL SPECS

Power:
- Hardwired AC Power
- 120/240V 50/60Hz
- 1150 W (@ max load)
- UL Rated @ 10 Amp

Backlight:
- LED Light Source
- 380 CD/M2 to 3,500 CD/M2
- Auto adjusting to outdoor ambient light levels

4-D-23-SU
2/23/2023



Product Model #: STR-D12-120

Project #:

Date: 2019-12-03

STRATACACHE
MARKETING TECHNOLOGY

STRATACACHE
40 N. Main Street
Dayton, Ohio 45423
1-800-244-8915

Drawing #: STR-D12 v1.1

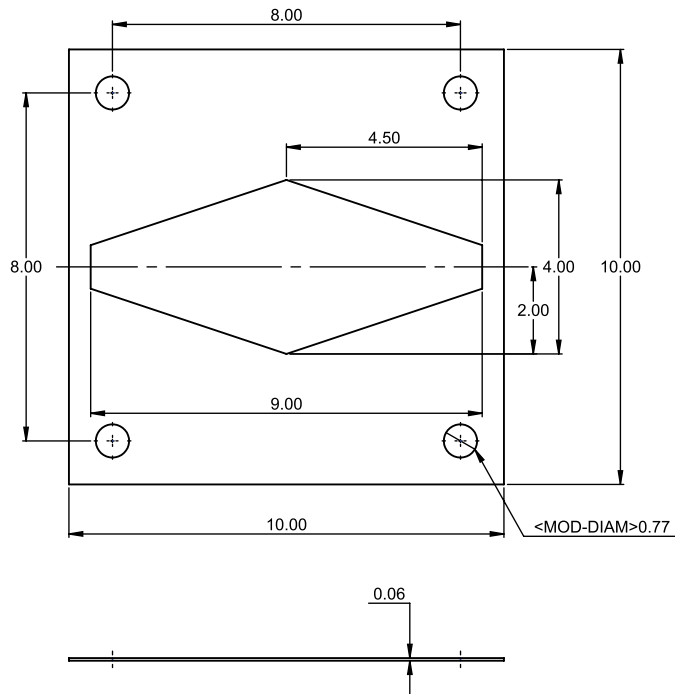
Date: 2019-12-03

Author: B. Pupo

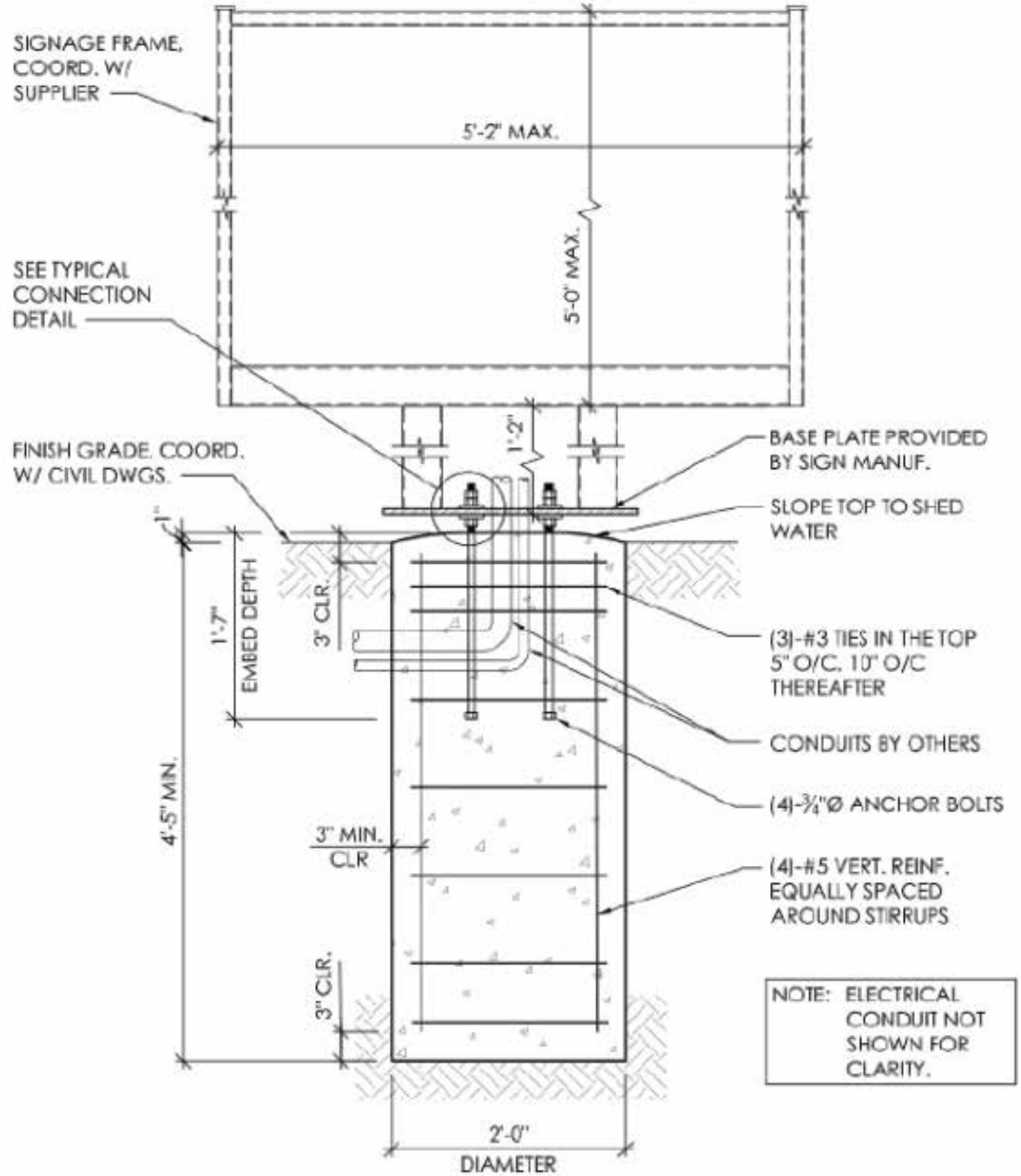
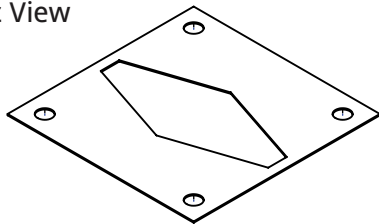
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Foundation

ROD TEMPLATE



ROD TEMPLATE Isometric View



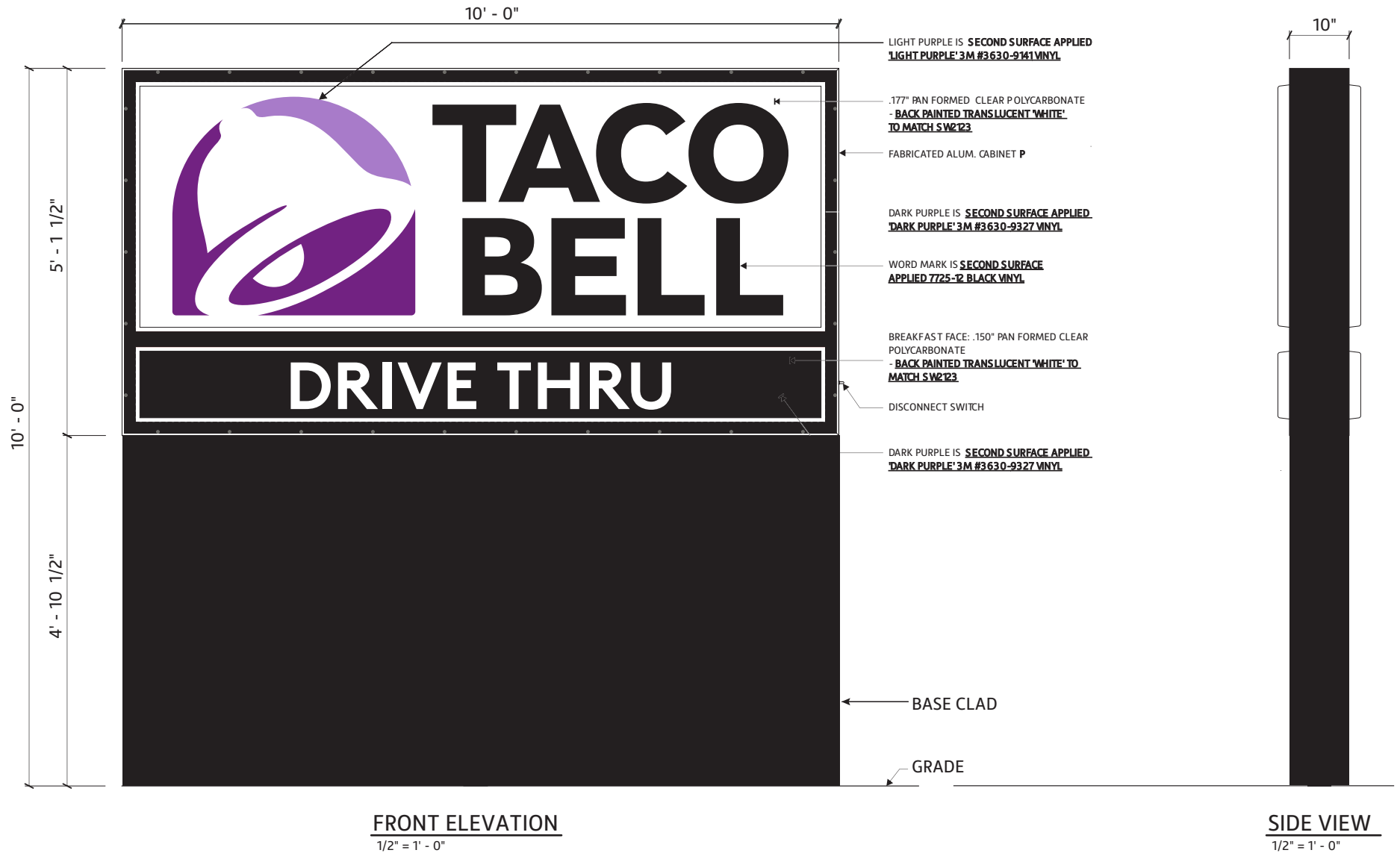
FOUNDATION SECTION (MENU BOARD)

4-D-23-SU
2/23/2023

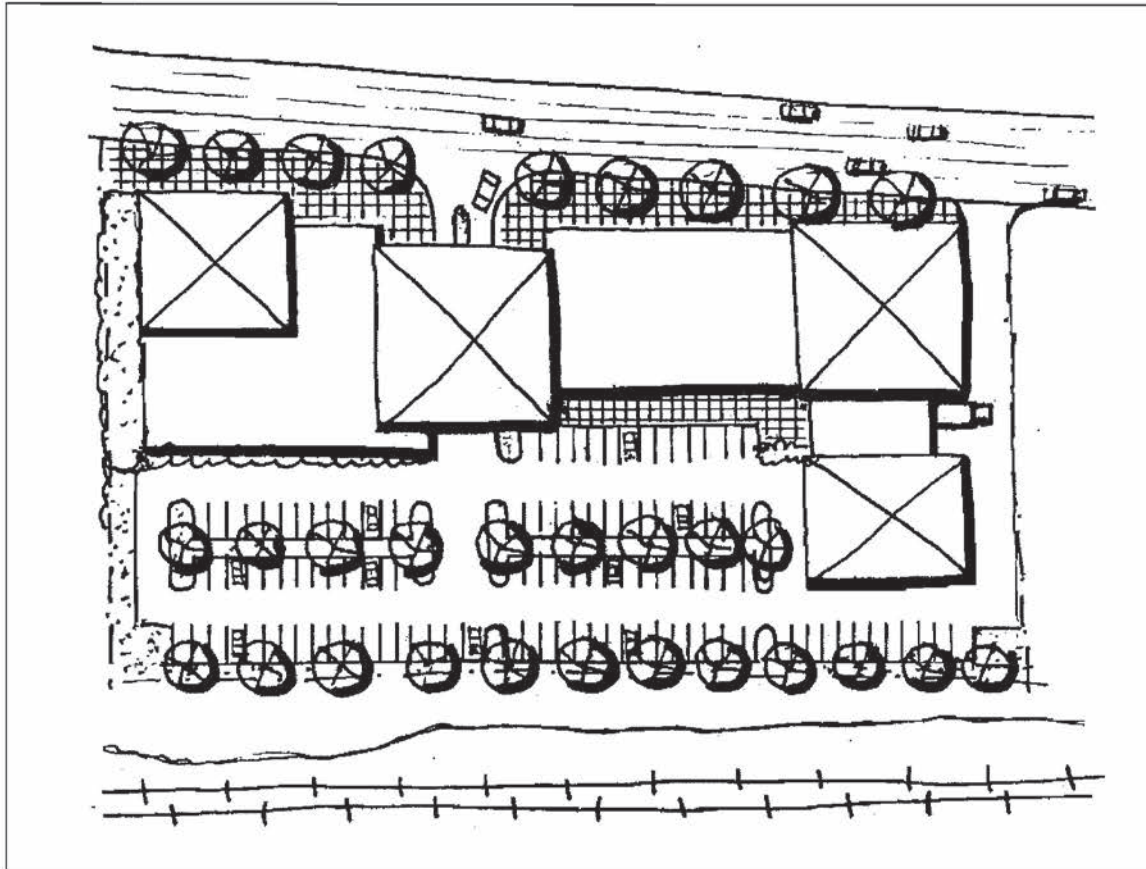
V-02.52 - Large Monument

NOTE:

1.) SHOP TO PROVIDE TOUCH UP PAINT TO INSTALLER



4-D-23-SU
2/23/2023



Kingston Pike Commercial Corridor

Development along Kingston Pike east and west of the Homberg Drive corridor consists of offices and larger-scaled commercial centers containing fast food restaurants and strip malls. However, most of these establishments are stable commercial

centers and complete redevelopment does not seem likely within the next 5 years. For these areas to become more pedestrian friendly and fit into the urban village theme, the recommendations (at right) should be considered.

EXHIBIT A










RECOMMENDATIONS

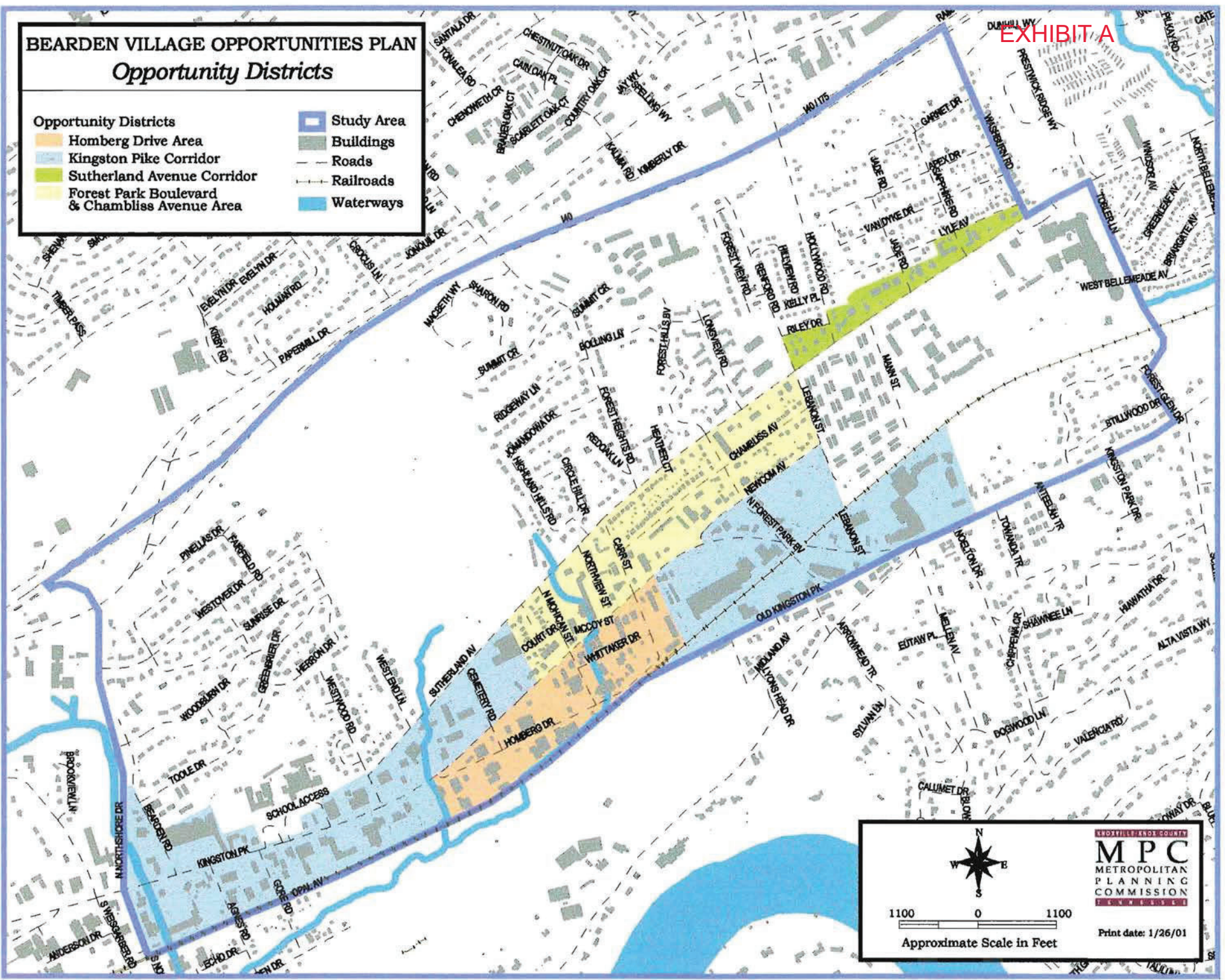
- Orient buildings toward sidewalks with parking at back of buildings.
- Incorporate mixed use between floors of buildings with commercial/retail on first floors and office/residential on subsequent floors.
- Require formal tree plantings along sidewalks and within parking lots.
- Reduce parking requirements.




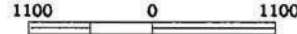
BEARDEN VILLAGE OPPORTUNITIES PLAN

Opportunity Districts

	Homberg Drive Area		Study Area
	Kingston Pike Corridor		Buildings
	Sutherland Avenue Corridor		Roads
	Forest Park Boulevard & Chambliss Avenue Area		Railroads
			Waterways







 Approximate Scale in Feet

METRO HILLIPLAINE COUNTY
MPC
 METROPOLITAN
 PLANNING
 COMMISSION
 INCORPORATED 1961

Print date: 1/26/01



Mr. Mike Conger, P.E.
Knoxville – Knox County Planning
400 Main Street, Suite 403
Knoxville, TN 37902

Driveway Evaluation Proposed Taco Bell – 5613 Kingston Pike City of Knoxville, Knox County, Tennessee

Dear Mr. Conger,

The purpose of this letter is to provide a Driveway Evaluation for the proposed Taco Bell Fast Food restaurant to be located along the north side of Kingston Pike (State Route 1), west of Westwood Road in the City of Knoxville, Tennessee, as shown in **Figure 1**. This evaluation will analyze the sight distance at the proposed driveway location along Kingston Pike to determine if vehicles attempting to enter and exit the site have adequate site distance to safely make the turning movements. Additionally, this analysis will discuss an assessment of the on-site circulation, bike/ped accommodations and driveway throat depth.



Image Taken from Google Earth

Figure 1: Aerial Photograph

The proposed Taco Bell will consist of a 2,287 square foot restaurant with one proposed access drive onto Kingston Pike on the east side of the building. See **Attachment A** for a preliminary site plan.

Sight Distance Evaluation

Intersections generally have a higher potential for vehicular crashes than a continuous section of roadway due to a higher frequency of conflicting traffic movements. By providing adequate vertical and horizontal sight distance at an intersection, the likelihood of these crashes is greatly reduced. GPD Group Professional Corporation personnel performed a site visit on Monday, November 28th, 2022 to take

pictures of the existing property and roadway conditions and these pictures, combined with a site distance evaluation figure, to verify that adequate sight distance will be provided at the proposed site drive location along Kingston Pike in accordance with TDOT's Standard Drawing Series RD11-SD, specifically drawing RD11-SD4 'Intersection Sight Distance 4-Lane and 5-Lane Undivided Roadways'.

Intersection sight distance (ISD) is the distance in which a motorist must have an unobstructed view of the entire intersection for the purpose of anticipating and avoiding potential collisions. Moreover, drivers in a stopped position should be able to observe traffic at a distance that will allow them to safely make the desired movement. Sight distance evaluations are based on the design speed of the roadway, which is typically 5 mph above the posted speed limit. Based on a design speed of 50 mph for Kingston Pike, vehicles exiting the site drive will require an unobstructed view of 625 feet to safely make a right turn and 625 feet to safely make a left turn.

An ISD analysis was performed at the proposed location of the site driveway along Kingston Pike to determine if any horizontal or vertical sight deficiencies exist. The sight distance evaluation determined that there are no horizontal or vertical intersection sight distance deficiencies for the proposed site drive approach when a driver is looking either to the west (right) or to the east (left). See **Pictures 1 and 2** combined with the sight distance evaluation exhibit in **Attachment B**.



Picture 1: Looking west (right) from the proposed site driveway approach towards the eastbound approach of Kingston Pike



Picture 2: Looking east (left) from the proposed site driveway approach towards the westbound approach of Kingston Pike

As can be seen in **Pictures 1** and **Picture 2**, an approaching vehicle driving eastbound or westbound on Kingston Pike can be seen by a vehicle exiting the site at the proposed location of the site driveway as there are no horizontal or vertical roadway curves interfering with the driver's line of sight to an approaching vehicle from either direction.

On-Site Circulation

As shown on the preliminary site plan in **Attachment A**, the proposed site will be served by a single access point with a two-way main driveway with parking on both sides of the main drive. The drive-thru will operate in a counter-clockwise circulation pattern with a bypass lane for traffic to circulate the building or exit the drive-thru, if desired. The current site plan shows enough storage for eleven (11) vehicles before any parking spaces would be blocked and approximately eighteen (18) vehicles before the queue would spill onto Kingston Pike. The circulation for this site appears to provide acceptable circulation for all vehicles (including trash and delivery trucks) and adequate drive-thru storage which should not interfere with the operations along Kingston Pike.

Bicycle / Pedestrian Accommodations

The preliminary site plan shows that no changes are proposed from a pedestrian accommodation perspective. The sidewalk is proposed to be reconstructed along Kingston Pike and the roadway does not include any dedicated bicycle facilities. Bicycle parking is being provided at the proposed Taco Bell, as required, as shown in Callout 29 on the preliminary site plan. The construction of the proposed Taco Bell should not have any adverse impacts on bicycle / pedestrian accommodations as all existing facilities are going to remain the same and bicycle parking is being added at the proposed restaurant.

Throat Depth

The existing site does not provide any throat depth between Kingston Pike and the parking lot. The proposed Taco Bell will provide approximately 20' of throat depth between the parking lot and Kingston Pike, which is a significant improvement over the existing conditions. No issues related to throat depth are anticipated with this proposed driveway.

Summary and Conclusions

The sight distance evaluation determined that there are no horizontal or vertical intersection sight distance deficiencies for the proposed site drive approach when a driver is looking either to the west (right) or to the east (left). Additionally, the on-site circulation, bicycle/pedestrian accommodations and throat depth were evaluated with no issues noted or anticipated.

If you have any questions regarding this Driveway Evaluation, please feel free to contact me at (330) 572-2214 or via email at mhobbs@gpdgroup.com.

Respectfully Submitted,
GPD Group Professional Corporation



Michael A. Hobbs, P.E., PTOE
Senior Director
TN P.E. #125709

CC: Curtis J. Deibel, P.E., RSP2 (GPD Group Professional Corporation)
Sarah McGowan (GPD Group Professional Corporation)
File

ATTACHMENT A

ATTACHMENT B

May 11, 2023
Planning Commission meeting

Public Comments

148 Comments for 4-D-23-SU

Anne (37919), March 25, 2023 at 9:41 AM

I received notecard today in the mail regarding the proposal. We do not want Taco Bell almost directly behind our home. On behalf of Westwood neighborhood and century court, this space on Kingston pike is visible from my back yard. It is right beside the greenway. It is right beside my home with no buffer for smells/etc which will travel from the kitchen. Please do not rezone this space.

Anne (37919), March 25, 2023 at 9:53 AM

Additionally, to my previous comments. Changing this location from commercial to almost a 24/7 drive through this is much different use of this land. Taco Bell being open 7a-4a typically is going to be disruptive and increase traffic into late hours of the night.

-Westwood neighborhood. My home is [REDACTED]. Location visible from my back porch.

Michal (37919), April 11, 2023 at 1:35 PM

As a Bearden resident and Homeowner that lives very close to the proposed location of the Taco Bell, I oppose this proposal to allow a Taco Bell. I drive this stretch of Kingston Pike multiple times a day. This will add to congestion and make this already busy stretch of road more dangerous. Please do not allow this zoning change for a drive through and please do not allow this Taco Bell to be built at this location.

Chad (37919), April 11, 2023 at 4:42 PM

Thank you for your consideration. I am a parent of a student at Bearden Elementary school and we use the road between the proposed property and the car wash to access the roads to drop off/pick up our daughter from school. The traffic in the afternoon becomes quite problematic even without having a fast food restaurant present. Often in the afternoons, cars for school pickup line are backed up down the center turn lane of Kingston Pike waiting to turn left toward the school property. I suspect traffic will become even more challenging once cars are regularly entering/exiting the fast food line or the restaurant at that very same location. I am not in favor of a fast food restaurant in this location. I support using this space for other retail purposes that would have a slower traffic pace. Thank you.

Finbarr (TN), April 11, 2023 at 8:30 PM

We just learned today of the Taco Bell proposed for the former Westwood Antiques site. The idea of a drive-through business on an already overloaded street is appalling. The traffic situation at Kingston Pike and Northshore Drive has been deemed near-failure for over a decade. This would simply exacerbate the problem.

Not only does the traffic going west on Kingston Pike back up before work, during rush hour and during lunch hour, it frequently is at a standstill any time there is a traffic problem on I-40. In addition to that, Bearden Elementary backs up traffic before and after school on a daily basis.

The traffic situation needs to be thoroughly examined and considered before the planning commission BEFORE there is any consideration for approval.

Elizabeth (37919), April 11, 2023 at 9:07 PM

As a resident of the Bearden area and a parent of elementary school students, I strenuously object to the proposal to open a Taco Bell at 5613 Kingston Pike. The traffic on this stretch of Kingston Pike is already burdensome, with backups peaking during the hours between school pick up and the end of the work day. Traffic is also worse during the time between Halloween and Christmas.

I have worked in the retail quick service industry and am familiar with drive through logistics and customer counts. The amount of cars pulling in and out of a fast food restaurant will be disrupt traffic flow, create bottlenecks during the busiest time of the day and increase the risk of accidents.

Tonya (37919), April 11, 2023 at 9:13 PM

My husband and I have lived in Bearden since 2000. While we love our neighborhood, we don't love the TRAFFIC on Kingston Pike that gets regularly backed up between Homberg and Northshore. The traffic jams are particularly bad in front of Bearden Elem School. When school is dismissed, parents have to cross Kingston Pike eastbound to access the school parking lot/pickup line in horrific traffic. Unfortunately, this is where the Taco Bell is wanting to put in a restaurant probably with a drive through. The traffic created by such an establishment will only exacerbate an already bad traffic situation. I noticed, too, the photos taken by the site investigators show no traffic on Kingston Pike. They must have wanted a low traffic time for their convenience and for clear photos. However, it would be my hope that the MPC will consider the true impact of allowing Taco Ball on traffic and investigate the site not just at its best, low traffic times of day but also during its worst, heaviest traffic times.

Elizabeth (37919), April 11, 2023 at 9:15 PM

Knoxville has a longstanding issue of routine traffic backups on Kingston Pike from Northshore east to Westwood Drive. It makes no sense to add a business that generates a high volume of short trips to an already congested area, to say nothing of the impact of noise, trash and food smells at almost all hours of the day and night. If a Taco Bell is needed that badly in the area, it's better suited to a location on the south side of Kingston Pike where it would cause much less congestion for Knoxvillians and much less offense to the neighboring communities.

Tim (37919), April 11, 2023 at 9:26 PM

We don't want Taco Bell to in the Bearden area! We have enough traffic congestion as is!

Julia (37919), April 11, 2023 at 9:28 PM

I have just learned of a proposal for a Taco Bell to go into the Westwood Antiques Site on Kingston Pike. This is absolutely the worst idea. As a resident if Westwood, there is so much traffic congestion in this spot that adding a drive through would be horrendous. We have been trying to get traffic relief there for decades. How in the world does this enhance old Bearden or the Traffic. There is aTaco Bell a few blocks down. Why in the world would we need another craooy, cheap Mexican fast food joint. Are you trying to drag down the values of this.lovely area?

Good.Lord.

Miller (37919), April 11, 2023 at 9:43 PM

Please see attached.

[View Attachment](#)

Amy (37919), April 11, 2023 at 10:09 PM

I am a parent of students at Bearden Elementary School and drive by this property (which is within the school zone) multiple times every day. I would first like to note that the adjacent residential neighborhood was not informed of this requested special use and a public notice sign is NOT posted at the property. I request you do not approve this special use. At a minimum I request you delay the vote to allow adequate public notice and opportunity for the public to provide comment. The traffic congestion within this stretch of Kingston Pike is severe, especially during arrival and dismissal time for students at Bearden Elem and KAEC. The transportation analysis focuses primarily on the drive-thru traffic pattern and line of sight from the proposed driveway. The traffic study does not take into consideration the congestion drivers already experience on Kingston Pike and the wait times drivers will experience to turn into and out of the proposed Taco Bell, as well as how that will impact drivers during school dismissal. Congestion on Kingston Pike will undoubtedly increase if this special use is approved. I appreciate that a defined sidewalk and landscaping vegetation would improve current conditions on the property, but I do not support this special use request to have a drive-thru restaurant at this location, especially one open well past midnight with residential single-family homes directly behind the property.

Michael (37919), April 11, 2023 at 10:14 PM

I live in the Westwood subdivision, just behind the proposed location of this new Taco Bell. I'd like to speak out as one strongly opposed to the building of this restaurant. This stretch of Kingston Pike is extremely busy throughout much of the day, especially during lunch and dinner hours, when traffic up and down the Kingston Pike corridor is especially heavy. There are heavy backups constantly between the traffic lights at Westwood Road, all the way through the Northshore Drive traffic light. Adding more vehicles from such a restaurant would put additional vehicles into this mix, further exacerbating what is already a bad bottleneck situation. In addition, Bearden Elementary School would be right next door, and the traffic going to and from the school is already heavy enough. PLEASE make the right decision and vote no on the construction of this restaurant.

Chantelle (37919), April 11, 2023 at 10:30 PM

We adamantly oppose the approval of a Taco Bell in 37919 on Kingston Pike. The traffic is already at astronomical levels, impossible to navigate at certain times of the day, and the city has failed to do anything to alleviate this situation regardless of numerous complaints and requests. This location is just beside a school who has a heavy traffic situation as is. We would however approve a non fast-food, non drive thru restaurant with less traffic, or a retail establishment that is low traffic. Furthermore the type of clientele this would draw will add to a growing issue that centers around the pharmaceutical traffic at Food City. It is unacceptable.

Kelly (37919), April 11, 2023 at 10:40 PM

I am writing to oppose the building of the proposed Taco Bell on Kingston Pike in the vicinity of the Bearden Elementary School. If you lived in the neighborhood you would know the area from Northshore and Kingston Pike intersect all the way to Toddy's is a major area of congestion. People use Sutherland and jump over to Kingston Pike and that traffic starting at Firestone backs up into the neighborhood especially on Fridays. The traffic from the ChickFilA drive through causes enough problems when it spills out onto Kingston Pike but at least traffic flows better eastbound because no one is cutting through to get on I-40 from Sutherland. I can barely exit my neighborhood using Northshore because of the traffic flowing from Kingston Pike now the other entrance will become congested. The lights at each of these areas of congestion are so poorly timed which only adds to the problem.

There are 3 accessible Taco Bell's from the neighborhood now, one on UT Campus and one towards West Hills Mall each a little over 2 miles in each direction. Why do we need another one? Go down Northshore and put one where there are not many fast food options.

Rachel (37919), April 11, 2023 at 10:44 PM

I am a resident of the neighborhood directly north of the planned fast-food establishment. I object to the proposed change to zoning.

The stretch of Kingston Pike between Knox Plaza and Northshore Drive is already sufficiently congested to warrant a flashing sign warning of said congestion (within a few hundred feet of the proposed restaurant). Adding a busy fast food restaurant with extended opening hours would only add to this problem. Bearden Elementary School and KAEC are located within feet of the proposed location; drop-off, pick-up, and bus traffic would be impeded by traffic from customers for this restaurant.

Rachel (37919), April 12, 2023 at 7:26 AM

As a resident of Westwood neighborhood, I oppose the proposal regarding a drive-thru Taco Bell in front of our neighborhood and adjacent to two schools on Kingston Pike. The traffic congestion in this small part of Kingston Pike is already substantial. The traffic backs up in both directions of Kingston Pike, resulting in traffic flow stopping from the light at Westwood Road, back into the neighborhood and down Sutherland, often times past the post office. School children are negatively impacted by traffic, by cars that do not slow down during lower volume times, by cars that cut through the Westwood neighborhood at high speeds when Kingston is backed up, and by garbage. The BES girl scout troop already spends shifts each year picking up trash from the car wash at the school properties and along the greenway.

Taco Bell will compound these issues and diminish the quality of life for Westwood residents and for a variety of school children.

Joel (37919), April 12, 2023 at 7:30 AM

The proposal to put a Taco Bell in front of the Bearden Elementary school is likely to dramatically increase traffic congestion in around the school.

This congestion is likely to increase the traffic cutting through the Westwood neighborhood to find a faster route to the interstate from Kingston Pike. These factor further increase the danger to pedestrians in the neighborhood including children walking to school.

For the safety of my neighbors and the children attending Bearden Elementary. please deny the request to put Taco Bell with a drive thru in the old yellow Bearden Antique building off Kingston Pike.

Jim (37919), April 12, 2023 at 7:44 AM

Please vote no to not allow Taco Bell into bearden. There is already too much traffic on that area of Kingston pike and we have enough fast food close by- with another Taco Bell within 2 miles for those in need.

Leslie (37919), April 12, 2023 at 7:47 AM

As a resident of Westwood neighborhood, I oppose the proposal regarding a drive-thru Taco Bell in front of our neighborhood and adjacent to two schools on Kingston Pike.

Traffic congestion on Kingston Pike in this area is already substantial. It backs up in both directions of Kingston Pike, with traffic stoped from the traffic light at Westwood Road, and extending into the neighborhood and down Sutherland at times past the Post Office to the Bearden United Methodist Church. Children are placed in danger by this traffic, by cars that do not slow down during lower volume times, by cars that cut through the Westwood neighborhood at high speeds when Kingston is backed up, and by rubbish thrown-out by inconsiderate drivers. The Bearden Elementary School Girl Scout Troop already uses their time picking up trash from the car wash, on the school properties, and along the greenway.

A Taco Bell will exacerbate these issues and diminish the quality of life for Westwood residents and for a variety of school children.

Kristi (37919), April 12, 2023 at 7:49 AM

I oppose this change. This drive through is likely to increase traffic in a spot that is already highly congested and Taco Bell's architectural design is usually pretty bad which works against all the efforts being made to improve the Bearden Village area. Please vote no on this proposal.

Bo (37919), April 12, 2023 at 7:51 AM

I am opposed to the Taco Bell planned for Kingston Pike. This area already has a huge traffic problem and this development would further aggravate the problem especially in front of The elementary school.

Richard (37919), April 12, 2023 at 7:59 AM

This is a terrible idea. The traffic on this portion of Kingston Pike is bad enough as it is, the addition of a fast food drive through is just going to make it worse.

Amelia (37919), April 12, 2023 at 8:08 AM

Please see my attached comments. Also, please be aware that although my home is less than 100 feet from the property in question, I received no notification by mail that this parcel was being considered for special use, nor is there any signage on the property indicating such. I imagine that many more people would have submitted comments if they were aware of the proposed Taco Bell at this property.

[View Attachment](#)

Mary (37919), April 12, 2023 at 8:09 AM

I am opposed to building a Taco Bell or any fast food restaurant at this location. It is a high traffic area that has delayed traffic at certain times of the day. There are residential home close to this location as well and a busy late-night fast food restaurant would be a nuisance (the noise from drive through speakers carry). I think this will add to the traffic problems as well as be a burden on the residents of this area. Thank you.

Sable (37919), April 12, 2023 at 8:14 AM

Please do not approve a Taco Bell in this location without a thorough traffic study. With the already congested traffic at Northshore and Kingston Pike plus Bearden Elementary, I am concerned about capacity and safety. Thank you for your time.

Christy (37914), April 12, 2023 at 8:14 AM

There is already so much traffics during schools times and the security risk would increase dramatically. Please reconsider.

Leslie (37919), April 12, 2023 at 8:22 AM

As a Westwood resident and a parent of a Bearden elementary student, I oppose having a fast food restaurant in this highly congested *school zone.* We should be focusing on development that makes it safe for kids to walk and bike to school, not development that will exacerbate already dangerous car traffic.

Emily (37919), April 12, 2023 at 8:24 AM

While I understand wanting to expand businesses, placing a Taco Bell in that area will increase accidents and what about children's safety? (especially with the school zone right there) Please be mindful of where you place businesses, mainly when children are involved. The traffic is already bad enough. Seems like a really bad idea to me.

Ashlie (37922), April 12, 2023 at 8:24 AM

I ask that you truly consider the negative effects of putting a fast food drive through restaurant in this area. First and foremost placing a Taco Bell here impacts the residential area that is located directly behind it. The traffic in the area is

already heavy and congested. Adding to this by placing a drive through is an ill thought out decision. The residents of the neighborhood behind the proposed site should not have to deal with the additional traffic and associated negativities brought by a fast food restaurant being placed in an area that was never intended to be used for such.

Logan (37924), April 12, 2023 at 8:25 AM

I drive through the area almost daily. With surrounding schools, I feel this is a safety risk.

Sara (37919), April 12, 2023 at 8:35 AM

As a Bearden resident and parent of Bearden Elementary School children, I strongly oppose adding this establishment to our already congested neighborhood. It would be a disruptive and dangerous addition.

Elishia (37918), April 12, 2023 at 8:39 AM

I oppose the addition of a Taco Bell in that area. Traffic is already so congested in that area and adding a business of that would bring in a high volume of traffic would increase the difficulty of navigating that area.

Daphne (37919), April 12, 2023 at 8:47 AM

WE DO NOT NEED A DRIVE THRU TACO BELL IN AN ALREADY BUSY AREA. ITS ABSURD !!!

Mary (37919), April 12, 2023 at 9:02 AM

Hello. I live in the Westwood neighborhood of Bearden, and oppose this potential Taco Bell development. Placing a busy drive-through close by one of the most congested intersections in Knoxville makes no practical sense. That stretch of road is very regularly backed up in both directions. There is no way traffic heading east and wishing to turn left into a Taco Bell would be able to do so quickly if at all. Until the city comes up with - and puts into effect! - a permanent traffic-relieving solution, proposals for this lot and area should be restricted to businesses expecting a reasonable traffic ebb and flow.

Laurie (37919), April 12, 2023 at 9:05 AM

As a business owner who owns property and runs a business very close to the area in question I strongly oppose this zoning request. This stretch of Kingston Pike is already highly congested with traffic frequently backing up from the Northshore/Kingston Pike intersection. The proximity to the sole road entrance to the elementary school - would make it even more difficult to have a busy fast food restaurant there. Please deny this zoning request!

Melina (37914), April 12, 2023 at 9:07 AM

As someone who works at the school behind the proposed Taco Bell during the summer months, I strongly oppose building a fast food restaurant so close to the school. This is a safety risk to the students and staff at the schools. Also, traffic is already horrendous in that area and the increased traffic in the already congested area would cause frustration and added safety risks to the area.

Jessie (37919), April 12, 2023 at 9:20 AM

I am opposed to this proposal for a Taco Bell for the same reasons other commenters have already discussed!

Sally (37923), April 12, 2023 at 9:26 AM

I am a teacher at Bearden Elementary. Increased traffic would be very dangerous to students. The traffic on Kingston Pike is already extremely bad after school and this would back it up more.

Sarah (37919), April 12, 2023 at 9:45 AM

As a nearby resident and mother of children at Bearden Elementary School, I would like to draw attention to the already terrible traffic situation that exists at this location on Kingston Pike. As a resident of Westwood, we see a tremendous

amount of cut through traffic to avoid the intersection at Kingston Pike and Northshore. Our neighborhood has an open or just completed traffic study to help reduce cut-through traffic. This area is a highly trafficked and is constantly backed up through multiple lights during school drop off, rush hour, during lunch and many times when the interstate is experiencing traffic issues. A drive-through business operating at this location would only add to the already horrendous traffic situation. As a parent of Bearden elementary students, I encourage someone to visit the school at 2:15-2:30pm to see all the cars that use this parking area to wait for car rider line to open. Should a fast food restaurant open in this location, all the car rider line will be waiting in one lane on Kingston Pike. On Kingston Pike. Imagine this traffic interference this will cause. Please consider relocating this business.

Richard (37919), April 12, 2023 at 9:47 AM

As a resident of Westwood Bearden, I oppose the Taco Bell proposed location on Kingston Pike.. the traffic there is already congested and imposes issues upon Bearden Elementary school.

Sarah (37919), April 12, 2023 at 9:50 AM

As a local business located directly next to this proposed development, I strongly oppose this special-use allowance. Our parking lot is already dangerously overpacked during school pick-up hours, as it is used as a "holding space" for cars waiting in the pick-up line. Our staff gets "parked in," and clients and customers can't even enter the lot due to the traffic from school. It's already a zoo in the afternoon; adding additional obstacles to traffic flow is unimaginable.

Increasing slow-moving traffic from a fast food establishment is an extremely unwise use of this space. It will create far more safety issues than we already have—right next to an elementary school!

Emily (37923), April 12, 2023 at 9:57 AM

Please deny this request to build a drive thru. I work at KAEC over the summer. Traffic and sound does not need to increase in that area.

Nichole (37919), April 12, 2023 at 10:01 AM

I am NOT for the Taco Bell. it is opening the door for more fast foods in the area and ruining the esthetics of the area.

Kate (37919), April 12, 2023 at 10:02 AM

I strongly oppose putting a Taco Bell in this location. I have a child who attends Bearden Elementary, and traffic at pick up time is already horrible.

Mary (37919), April 12, 2023 at 10:02 AM

This location is NOT appropriate. I'm fine with fast food restaurants and Kingston Pike has lot of them, but the crush of traffic in this particular area including a school and one of the worst intersections in Knoxville for congestion makes a drive through here a terrible idea.

brandy (37919), April 12, 2023 at 10:03 AM

This is a very bad idea we have enough accidents already with the traffic issues as is between school traffic , i40 back up, rush hour, lunch time ect. It's already nerve wrecking now to let my son walk our dog on westwood area due to traffic. I also never received a letter about the hearing in the mail and should of being I'm on century ct right next to the location of interest.

Alanna (37919), April 12, 2023 at 10:06 AM

The Westwood HOA is opposed to the development of a Taco Bell 5613 Kingston Pike. Not only does the traffic going west on Kingston Pike back up before work, during rush hour and during lunch hour, it frequently is at a standstill any time there is a traffic problem on I-40. In addition to that, Bearden Elementary backs up traffic before and after school on a daily basis.

The business would bring in additional cut-through traffic to the neighborhood and additional noise pollution from the late hours of operation.

Owen (37919), April 12, 2023 at 10:07 AM

I am a resident of the Westwood neighborhood adjacent to the proposed Taco Bell location. I object to the proposed change to zoning.

David (37919), April 12, 2023 at 10:08 AM

Currently, the traffic pattern on Kingston Pike between Westwood Drive and Northshore Drive is at a near standstill between noon and 6pm every day. Consequently, drivers cut through the Westwood neighborhood. Most drivers excessively speed through this quiet neighborhood with winding roads and many small children. I oppose this development without considering its traffic impact on Westwood neighborhood or without a plan to improve traffic flow on Kingston Pike.

Stephanie (37919), April 12, 2023 at 10:12 AM

I am writing to oppose the proposed Taco Bell drive-thru that will replace the old Cas Walker grocery store in Bearden. As a resident of Westwood for almost 25 years, I have witnessed a steady increase in traffic around our neighborhood and through our neighborhood, and the continued poor planning of the city to effectively address our traffic issues. Adding such a high-profile business, with long operation hours, would only exacerbate the traffic congestion in Bearden and will likely produce more cut-through traffic in our neighborhood. It will also exacerbate the traffic concerns of Bearden Elementary which is located next door. It is currently extremely hard to exit our neighborhood onto Northshore due to heavy traffic and it is downright dangerous to exit our neighborhood on Westwood which connects to Sutherland as most cars chose NOT TO STOP AT THAT STOPSIGN, resulting in many near misses in accidents. Additionally, our neighborhood does not have sidewalks, although it is located adjacent to a greenway, so walking is a challenge due to the current amount of traffic. A heavily trafficked restaurant will only add to all of these existing issues which are growing worse. In addition to creating more traffic, it would also likely increase the amount of trash that is tossed out as drivers cut through Westwood. When Krystal had a location in Bearden, the amount of garbage that was tossed in Westwood was horrible and I can only imagine more of the same with Taco Bell.

[View Attachment](#)

Cameron (37919), April 12, 2023 at 10:13 AM

I would like to oppose allowing the Taco Bell to go into our community at 5613 Kingston Pike. There is already huge traffic issues with the intersection of Kingston Pike and Northshore that back all the way up passed the elementary school and this location. Adding this type of business will only increase the traffic and cause more problems. Parents already do not have a safe way to wait for their children when picking up as a car rider as the line extends onto Kingston Pike in front of this location. I ask that you do not allow this project to move forward and instead find another location that is more suitable for this type of business.

Raymond (37919), April 12, 2023 at 10:20 AM

This is terrible location to locate a Taco Bell, or any fast food business. I frequently drive through this area and it is often heavily congested. It is close to one of the busiest intersections in the city. A traffic light would almost certainly have to be added. I am greatly concerned about the safety of children from nearby Bearden Elementary School, who will either be on foot or transported in vehicles entering and existing the school grounds. Thank you for your consideration.

Beth (37919), April 12, 2023 at 10:22 AM

I am vehemently opposed to this project. It will burden an already congested area of Bearden and increase cut through traffic in my Westwood neighborhood.

Windy (37919), April 12, 2023 at 10:23 AM

As a homeowner in Westwood and educator, I ask that you please deny this application. I worry about the added traffic, noise, and people so close to a residential area and where young children walk to and from school. We already have a significant number of people speeding through Sutherland and this would increase the number of cars in a very walkable and family-friendly community.

The hours of Taco Bell are also a concern because the other establishments close well before the bedtime of school-age children. At one time, I worked for Carol Leeds at West End Antique and this building was previously a Cas Walker. Both of these businesses helped and served the community. I can't fathom a Taco Bell being a benefit so close to Century Court and other family homes. We also have many residents of retirement age, and this is not conducive to the needs of our community.

Graham (37919), April 12, 2023 at 10:27 AM

I am writing to oppose the proposed Taco Bell drive-thru that will replace the old Cas Walker grocery store in Bearden. As a resident of Westwood for almost 25 years, I have witnessed a steady increase in traffic around our neighborhood and through our neighborhood, and the continued poor planning of the city to effectively address our traffic issues.

Westwood and this part of Bearden are already plagued by mismanaged traffic and a flow of cut through traffic into a residential neighborhood with extremely high traffic and speeding where there are children playing and residents walking dogs. The stretch of Kingston Pike intersecting with Northshore Dr is the most congested stretches in Knoxville. Adding a high-traffic business would only exacerbate the traffic congestion in Bearden and will likely produce more cut-through traffic in our neighborhood. It will also exacerbate the traffic concerns of Bearden Elementary which is located next door. It is currently extremely hard to exit our neighborhood onto Northshore due to heavy traffic and it is downright dangerous to exit our neighborhood on Westwood which connects to Sutherland as most cars chose to ignore the stop sign.

Additionally, our neighborhood does not have sidewalks making walking a challenge due to the current amount of traffic. In addition to creating more traffic, it will increase the amount of trash in the area.

Heather (37919), April 12, 2023 at 10:33 AM

I oppose all fast food restaurants and other high traffic causing retail shops occupying this space. Reducing traffic congestion and enhancing safety should be the focus around the elementary school. The arrival of Taco Bell would contribute to an already dire problem. Do not allow this to happen.

McKenna (37919), April 12, 2023 at 10:35 AM

Writing to express my support of the special use permit for the provisioning of a drive through at this address. This business will remove an eye sore and drive business to the area that can benefit traffic to the surrounding business.

Lens (37919), April 12, 2023 at 10:41 AM

This is a terrible idea, and should not be approved for consideration. Just drive by this location at school drop-off and pick-up time, or any afternoon. You would think Neyland Stadium was located at the intersection of Northshore and Kingston Pike.

Lizzy (37919), April 12, 2023 at 10:42 AM

As a Westwood resident and parent of young children, I strongly oppose the placement of a Taco Bell in the Bearden Antique Mall site:

1) Kingston Pike traffic in that area is already horrific -- placing a fast food restaurant within this zone will only exacerbate an already intolerable situation

2) Taco Bell sites currently exist both east and west of this location; there is no need for another

- 3) Westwood neighborhood is already dangerous for pedestrians because of the amount of cut-through traffic, and this will only make it worse
- 4) For those Westwood residents located directly behind the site, they will have to endure almost 24/7 drive thru speaker noise and restaurant smells
- 5) Children, parents and teachers at Bearden Elementary School already have to be vigilant because of the high traffic levels -- this would further decrease safety
- 6) Taco Bell would undoubtedly increase litter on Kingston Pike, Sutherland and Westwood neighborhood
- 7) Taco Bell would negatively affect property values in Westwood neighborhood

Caroline (37919), April 12, 2023 at 10:43 AM

I am a 24-year resident of the Westwood subdivision, and I have recently learned of the proposal to build a Taco Bell on Kingston Pike in front of our neighborhood and in close proximity to Bearden Elementary School and the Knoxville Adaptive Education Center. I hope that you reconsider this proposal, as a fast-food restaurant with a drive-thru and late hours will only contribute to the excessive congestion we experience every weekday and many weekends in the 5000 block of Kingston Pike. This is not a sensible place to locate a restaurant, especially since an existing Taco Bell is only 2 miles to the west. Residents of Westwood and our neighboring communities would prefer traffic-mitigation and congestion-reduction actions, given the regular backups we experience on Kingston Pike and on Sutherland Avenue. This is a walking and biking corridor that will be made less safe than it already is, and will incent additional drivers to use our neighborhood as a cut-through after visiting the restaurant.

Scott (37919), April 12, 2023 at 10:46 AM

As a resident of Westwood subdivision, I travel the section of Kingston Pike adjacent to the proposed business on a regular basis. I am concerned that the additional traffic created, would make worse, what is already a very heavily traveled and congested area. I encourage the Commission to again consider the decision to approve this project.

Michael (37923), April 12, 2023 at 10:47 AM

This stretch of Kingston Pike is already one of the busiest areas in the entire city, with two schools that would be dramatically impacted by the addition of yet another fast food restaurant that is simply not needed. There is a Taco Bell just a mile or so down the Pike if it what suits your fancy, so why the need for another in a space that simply can't absorb an additional traffic generator? If that space will available, why not create a space that will benefit the communities that surround this area, as well as something that could be meaningful for the schools?

Katherine (r Dr.), April 12, 2023 at 10:48 AM

Adding any business to this area is irresponsible as the traffic is already too heavy and dangerous. Adding a drive-through restaurant is an even worse idea due to having people having to enter and exit into already bumper-to-bumper traffic for much of the day.

Consider widening the sidewalks and calming the already dangerous traffic in this area rather than adding to the existing problems.

Carolyn (37919), April 12, 2023 at 10:51 AM

I oppose a Taco Bell anywhere in Bearden.

Gregory (37919), April 12, 2023 at 11:20 AM

Please, vote no Taco Bell in the Bearden Village/Forest Heights/Westwood vicinity. We already deal with the overly, heavily used drive thru's at Smoothie King, Starbucks and Chick-fil-A that sometimes spill over onto main roads and contribute greatly to traffic congestion. And we don't want more litter from the patrons throwing out their fast food trash onto our streets. Vote NO to Taco Bell.

Linda (37919), April 12, 2023 at 11:32 AM

The Kingston Pike/Northshore intersection is one of the most congested lights in Knoxville, and the traffic regularly backs up past Bearden Elementary on Kingston Pike. Adding in a Taco Bell drivethrough when there is one on Campus, AND near the mall is unnecessary and would exacerbate traffic issues in an already overloaded stretch of Kingston Pike.

Andrew (37919), April 12, 2023 at 11:34 AM

I am writing to voice my opposition to a drive-thru Taco Bell at 5613 Kingston Pike. As a parent of a Bearden Elementary student, the location next to both an elementary and adaptive education school gives me concern for the safety of students at both schools. The increase in transient traffic increases the likelihood that the wrong person ends up on one of the campuses of either school. We've seen too many times lately where this does not end well.

In addition to the safety of the schools, this Taco Bell would congest Kingston Pike traffic even worse than it already is in the area. This will end up forcing even more traffic to cut through the Westwood neighborhood, where passers through routinely drive 40+ miles per hour and endanger the lives of anyone out walking. On numerous occasions, I have been pushing a stroller through the Westwood neighborhood and nearly hit by reckless drivers who care about nothing more than getting from Kingston Pike to Northshore as fast as possible.

I don't see how a Taco Bell in this area improves the lives of anyone except the owners of the Taco Bell. This is a loss for the community and I strongly oppose the approval of this special exception.

Melanie (37919), April 12, 2023 at 11:48 AM

I am Bearden resident and Bearden Elementary School parent strongly opposed to the proposed rezoning to allow for a Taco Bell drive-through on Kingston Pike. This area is already extremely congested at nearly all hours, and particularly during school pickup and drop-off times.

The traffic study should have been conducted at 2:45 p.m. on a school day for a true picture of how negatively a fast-food restaurant would impact an already congested and sometimes dangerous traffic situation. The school pickup/dropoff access point is mere feet from the proposed Taco Bell drive and already competes with people accessing the Zips car wash. I do not believe the close proximity to the school was adequately considered.

I also question why there was no public sign on the property alerting people to the possible rezoning. It's concerning this became known to most people in the area only in the two days before the meeting. I am also concerned at the likelihood this restaurant could be open until 2 or 3 a.m. That is not in keeping with the character of this neighborhood and would have immediate negative effects on nearby homeowners. Please do not approve this request.

Chris (37919), April 12, 2023 at 11:49 AM

See Attached Document

[View Attachment](#)

Mary Ellen (37919), April 12, 2023 at 12:00 PM

As a resident and business owner at 5609 Kingston Pike I strongly oppose a Taco Bell at this location. The traffic in Bearden and specifically in this area in front of Bearden Elementary is terribly congested on most weekday afternoons. I am not sure how Taco Bell could operate in-dining and a drive thru at this location as turning in and out of the area is truly

challenging. I would love for the old antique mall to be removed to improve appearances in our vibrant business district but not for a business that will add more traffic chaos in our area. It is simply not a good fit. Please don't approve of this special use recommendation.

Chooi-Ping (37919), April 12, 2023 at 12:01 PM

This part of Bearden does NOT need more congestion; there is a flashing sign precisely in this area which reads: "Congested Area!" Obviously, as is the case with other local purveyors of salt, fat, and sugar which ultimately affect the health and welfare of our youth, the cars lined up for the drive-through will be out into the street blocking traffic. Please respect our well-being, safety, and environment by NOT allowing the addition of this type of outlet in such close proximity to the intersection of Northshore and Kingston Pike which already lacks adequate flow.

Flynt (37919), April 12, 2023 at 12:04 PM

I own the shopping center adjacent to the proposed Taco Bell site (Firestone). Traffic during school pick up at Bearden Elementary already causes backups that interfere with ingress and egress for our centers customers. Adding a drive through will cause even more congestion and dangerous conditions on Kingston Pike in front of our center. Look at the frequent congestion and problems caused by Chickfila a mere block away. A Taco Bell drive through will cause more of the same problems.

Robert (37919), April 12, 2023 at 12:20 PM

I am writing in opposition to 4-D-23-SU. Placing a drive through at that location makes no sense with it being one of Knoxville's most highly trafficked spots. The fact that an adjacent Neighborhood association was not sought out as a part of the traffic study is worrisome at best in terms of due diligence. True, there are existing drive throughs in this area but they are located on the opposite side of Kingston Pike where connecting side roads give alternate exit routes. This proposal will only make worse, an already miserable circumstance on Kingston Pike.

Drew (37919), April 12, 2023 at 12:23 PM

I'm writing to oppose the variance that would allow for a Taco Bell drive-thru on Kingston Pike in Bearden. As many have already noted, there's a major traffic problem, especially on the westbound section of Kingston Pike between Westwood Road and Northshore. Traffic is also a major issue in the morning and afternoons near Bearden Elementary/KAEC, and I believe adding a fast-food restaurant to that area would only make that situation worse. I'd also like to point out that a nearly 24-hour fast-food restaurant is out of character for the neighborhood. Thanks for your consideration, and I hope you'll listen to the neighbors and residents of this great area!

Chris (37919), April 12, 2023 at 12:25 PM

Taco Bell is a really crappy restaurant that devalues the land everywhere it goes. It does nothing for the health or beautification of the city. Most of Kingston Pike sucks because it's littered with unhealthy fast food restaurants that look terrible. This particular section of Kingston Pike is nice because chains like Taco Bell are absent. Please do not let this go forward

Janetta (37919), April 12, 2023 at 1:03 PM

Thank you for hearing feedback from the community as these changes directly impact our lives and ability to function in our neighborhood and, in this, case school. This area is already ridiculously congested, and a fast food drive through would lead to further traffic and disruption of the school zone which, of course, would impact the school's ability to function efficiently and drop off and pick-up times. Even outside of these times during the weekday lunch rush, the traffic is insane. This is an absolute terrible idea for the area.

Dayton (37919), April 12, 2023 at 1:13 PM

Concerning the proposed zoning change for a Taco Bell at this area of Kingston Pike is absurd. This would only add to the

horrible traffic situation that has long plagued drivers trying to navigate this stretch of road. Safety for pedestrians, first responders and adjoining neighborhoods already overrun with speeding cars cutting through. Spend your time fixing long standing traffic problem instead of adding to it.

David (37919), April 12, 2023 at 1:21 PM

I strongly oppose the proposed special use for a Taco Bell drive-through at 5613 Kingston Pike and ask that you deny the application. Please see attached letter. Thank you for your consideration.

[View Attachment](#)

Nell (37919), April 12, 2023 at 1:26 PM

I am a business owner at 5609 Kingston Pike and oppose Taco Bell's proposed new location next to our center. The weekday traffic in Bearden is already congested and not conducive for a fast food restaurant. We do not want to add to our current challenges with traffic and parking affecting our business.

Melanie (37919), April 12, 2023 at 1:44 PM

I have been a resident of Westwood / Bearden for over 20 years and strongly oppose the use of this property for a Taco Bell. The resulting traffic would compound an already challenging traffic situation and present other issues such as noise, late night lighting and disturbance for the surrounding community. A Taco Bell at this location is not needed; particularly in consideration that another Taco Bell is nearby.

Kathleen L. (37919), April 12, 2023 at 1:47 PM

Please reconsider approving a Taco Bell for the old Cass Walker location in Bearden. Our Westwood subdivision cannot support the additional traffic and trash that type of business creates. We already have one way streets and calming humor that are ignored by many "cut through" travelers. That section of Kingston Pike garners horrendous traffic at times and, in addition, is right next to elementary and adaptive center schools. The traffic through that area has nowhere to go for relief and actually gets much worse when I-40 is backed up. There are already several banks and mini shopping centers for cars to try to navigate along that can congested corridor. The noise from late night events filters through the neighborhood, also, and Taco Bell is proposing to be open very late at night. The closeness to two schools and the neighborhood plus a very busy section of Kingston Pike is detrimental to all. Please deny the Taco Bell proposal. Thank you.

Rachel (37919), April 12, 2023 at 1:52 PM

Please see attached pdf letter. Thank you.

[View Attachment](#)

Kara (37919), April 12, 2023 at 2:28 PM

Please do not put a Taco Bell where the antique shop is. First of all, Knoxville has a real problem with tearing down buildings that have character in favor of uniform corporate buildings. A Taco Bell would take away the distinct character of the Bearden neighborhood. Second, as a parent, resident, and employee in the area, I believe a Taco Bell would negatively impact school traffic, which is already an issue. Third, we should not have so much junk food available directly across from two different schools. This sends a bad message to the children I teach.

Allison (37924), April 12, 2023 at 2:34 PM

Please do NOT put a Taco Bell beside the car wash on Kingston Pike. Our school and another school's entrance is already blocked and crowded from the car wash at times. This would make traffic even more ridiculous. Also, our students are

SPed and emotionally disturbed. We often have students who elope from campus and I feel as if the Taco Bell would be a huge disaster for our school.

Karen (37919), April 12, 2023 at 2:44 PM

Having a Taco Bell in the proposed location is not a good idea for our school. We along with Bearden Elementary are on the hill behind the proposed site. We are a special ed school with grades K-12. There is already a traffic problem especially during dismissal time. Vehicles are lined up and down Kingston Pike in both directions. Having Taco Bell there would make it even worse and also it would be hard to access it. Being a special ed school we have had students to try and run from school. Having a Taco Bell there would be added danger with the amount of traffic it would add. I do enjoy Taco Bell but believe that this is not a good decision to approve.

Jessica (37919), April 12, 2023 at 2:44 PM

Please do not grant this request. This area is insanely congested and this addition to the businesses would endanger children coming and going to school and parents during pickup and drop-off time and special events. Adding a drive-through restaurant in this location would add significantly to the traffic and those crossing Kingston Pike to turn left against horrendous traffics. Please, make the priority the safety of children at Bearden Elementary. Going to school as a child and parent should not be unsafe. Unless traffic plans have a new way to reroute the excess of cars, the proximity of this business to the intersection at Northshore would make getting through Bearden even more frustrating. It's already at a fever pitch; let's not contribute to it through a business with frequent high traffic.

Beth (37931), April 12, 2023 at 2:44 PM

Please do not allow this to be rezoned for commercial use/drive through. I am an employee at Knoxville Adaptive Education Center which is located directly beside this property. We share a driveway with Bearden Elementary School. During drop off and dismissal, car lines are very busy, extending onto Kingston Pike. I am concerned that the addition of a drive-thru will only increase this traffic.

As well, we work with a population of students who at times are very impulsive and explosive due to emotional dysregulation and at times fight/flight/freeze they may elope from building towards Kingston Pike. More traffic in this area may cause a huge safety risk.

Please take these student's safety into consideration.

Sera (37917), April 12, 2023 at 2:48 PM

My child is a transfer student to Bearden Elementary and a Taco Bell at this location would be adding more congestion to an already congested area. Travel time on this stretch of Kingston Pike is always dicey but at peak times like school drop off, lunch, school pickup and rush hour it often becomes a stand still. Traffic overflows into the surrounding neighborhoods making another traffic issue. Please don't exacerbate an already untenable situation. Thank you.

Jordyn (37919), April 12, 2023 at 2:51 PM

As a staff member at Knoxville Adaptive Education Center, I feel as though Taco Bell being built at our doorstep is a major safety concern for our students as well as causing significant traffic in an already busy area for the school.

Chantelle (37919), April 12, 2023 at 2:52 PM

As a follow up to my earlier submission, I would like to know if Pat Phillips is currently serving as board member of the Westwood HOA as his MOC bio indicates. I can not understand how he would have failed to communicate this to Westwood residents and/or the neighborhood Traffic committee as a matter of courtesy and duty to both organizations. I serve on the Westwood Traffic committee and have been a resident of Westwood for 22 years. I have been working closely

with city officials and other neighborhood representatives for 3 years on the committee to reach resolution on our traffic concerns and know of nothing official that has been communicated to our committee about the planned development.

Jarrold (37919), April 12, 2023 at 2:59 PM

I oppose the Taco Bell in our Bearden neighborhood. A chain restaurant with a late night drive through will do nothing for the needs of our neighborhood. Pedestrian safety and decreased traffic volume being at the top of the list.

Kathryn (37919), April 12, 2023 at 3:03 PM

My husband and I have lived in the Bearden area since 2001 and we have seen traffic become worse and worse over the years. Most afternoons traffic is backed up well past the red light at Westwood and Kingston Pike and the addition of this Taco Bell would only make that traffic worse. Because of the traffic backup on Kingston Pike more local traffic is being directed through Westwood neighborhood and down Sutherland Avenue where cars drive exceedingly fast endangering pedestrians on the Greenway. I strongly oppose the addition of this Taco Bell and especially the drive-thru. I also believe that this is a hindrance to traffic in front of Bearden Elementary and KAEC.

Rob (37919), April 12, 2023 at 3:12 PM

The section of Kingston Pike being considered for this development is one of the most notoriously congested in West Knoxville. So much so that the city has placed a flashing sign warning of congestion 100 yards East of the proposed site. If the city/state cannot do anything to alleviate the cause of the congestion - namely the Northshore/Kingston Pike intersection- but see it as enough of an issue to erect a sign, it stands to reason the planning commission might be the type of body that prevents additional traffic and ingress/egress at that spot. Literally any other section of Kingston Pike upstream or down is better suited to handle a development of this sort. The study states that 18 cars can be in queue in the drive through line before the queue would block traffic. When you consider cars have to be able to egress from the site for that line to move, this seems like a recipe for additional gridlock. If this were a stand alone restaurant my opinion might differ- but a high volume drive through is particularly unsuited for this location.

peter (37919), April 12, 2023 at 3:27 PM

I am a resident of the Westwood, just behind this location.

Team knox,

I am not a NIBY (not in my backyard) as I am very pro business and love this town.

This is not the right space for this location with a drive-thru. This stretch of Kingston is not conducive to cross street traffic and this in tight in between two traffic lights already.

I do understand that the property owner would like the consistent revenue of a national brand in the space but this is not the one. I would request that you fully consider all of the impacts of this.

Knox lover, BES father of 2, Westwood resident and daily kinston pike traveller in this location.

cheers

Peter glander

Linda (37919), April 12, 2023 at 3:31 PM

Along with my neighbors, I strongly oppose allowing a Taco Bell to build on the site of the derelict antique store. I have lived in Westwood for 51 years and have seen the traffic count increase every year. The traffic back up during peak hours

including lunch time is terrible. Increasing the traffic due to a fast-food restaurant with a drive through is not in the best interest of the community. I ask the Planning Commission to deny the application.

Bob (37919), April 12, 2023 at 4:29 PM

Please do not vote for this new business in this location. Bearden is jammed up enough through the Kingston Pike corridor. Putting this right next to a school and in an area with constant congestion will be a huge mess. I love Taco Bell burritos, but not here.

Lyubov (37919), April 12, 2023 at 4:36 PM

As a resident of the Westwood neighborhood and a family nurse practitioner, I object to placing a fast food restaurant Taco Bell in the place of Antique Mall from the public healthcare perspective because of 3 reasons:

1) Increased obesity. Many studies show that placing fast food restaurants in proximity to a school or a neighborhood increases the rates of obesity in school children and residents.

2) Worsened air quality. Increased traffic congestion will lead to a worsening of the air quality that can exacerbate many chronic health conditions of the school children and residents of Westwood.

3) Increased light and noise pollution. "4th Meal" or business until

3 or 4 am will create more light and noise pollution that would adversely affect the health of the Westwood residents.

As a Westwood resident and a public health advocate, I strongly oppose placing Taco Bell next to the school and bordering a residential neighborhood because it will increase rates of obesity, and traffic congestion, worsen air quality, and increase light and noise pollution. All of these reasons will adversely affect the health of school children and residents.

Sincerely,

Dr. Lyubov Lee, ND, FNP-BC
Naturopathic Doctor
Family Nurse Practitioner

Julie (37919), April 12, 2023 at 7:20 PM

I am writing to oppose the proposed Taco Bell drive-thru that will replace the old Cas Walker grocery store in Bearden. As a resident of Westwood for 19 years, I have witnessed a steady increase in traffic around our neighborhood and through our neighborhood, and the continued poor planning of the city to effectively address our traffic issues. Adding such a high-profile business, with long operation hours, would only exacerbate the traffic congestion in Bearden and will likely produce more cut-through traffic in our neighborhood.

Cynthia (37919), April 12, 2023 at 8:10 PM

As a longtime resident in Bearden I can't think of a worse business to put in this location. Traffic is already congested and with nearby homes being subjected to a drive through with cars idling adding more noise and pollution. Please do not allow this change. It does impact the wellness of this community.

Lauren (37919), April 12, 2023 at 8:16 PM

Thank you for your time in reading this message. As a Westwood neighbor and Bearden Elementary parent, I would love to see the old, antique building space used in a different way than a Taco Bell. I believe there are better suited places for a busy drive-thru than that extremely congested area. Thank you again for your listening ear!

Elizabeth (37919), April 12, 2023 at 8:23 PM

I opposed this development due to the amount of traffic and congestion already present at the proposed site.

Terry (37919), April 13, 2023 at 1:38 AM

Approval of the proposal for a Taco Bell will create another traffic disaster similar to Bearden's Chic Fila. The location is near our elementary school and the greenway where bikers and runners cross to continue to Lakeshore. Neighborhood residents from Sequoyah Hills, Westwood, Lyons View, Sutherland Heights and Forest Heights residents worked with MPC to create a Bearden Village Pedestrian Village Plan in 2001. Bearden residents continued their 20 years of work to add greenways and sidewalks to create a safe and pleasant pedestrian area by adding a new Everly Brothers Park at a KAT transfer stop. We hope that planners will continue to contribute to our 20 years of efforts to keep our residents, developers and business owners enthusiastic about making Bearden an example of good planning.

Zo (37919), April 13, 2023 at 7:56 AM

The planning and building of a Taco Bell (or any fast food restaurant) at this location of Kingston Pike would be a stressor on the surrounding neighborhoods, schools and workers in the nearby area that is not necessary.

For one, there are plenty of fast food restaurants in the area, including a taco bell another 5 minutes down Kingston Pike!

Secondly, the traffic is already congested there 3 times per day. You would be causing more traffic issues because people would be creating lines in the lanes of Kingston Pike (they already do this at the Chick-Fil-A 1 mile east of this location).

Lastly, there are already close calls with accidents from people turning left out of Zips Car Wash and other north side Kingston Pike businesses and this would only add to it.

As someone who has Taco Bell every now and again, I am opposed to this proposal and I believe that no fast food restaurant should take over this specific area of Kingston Pike.

Sarah (37919), April 13, 2023 at 11:35 AM

I would like to state my opposition to the Taco Bell proposal at this location. I am a parent of Bearden Elementary student and can attest that traffic in this area is already very congested. During school pickup it is already a standstill going West on Kingston pike and I often have to wait to turn into the schools driveway or small parking circle because cars do not leave driveways clear. Adding additional cars turning on and off the road at that already chaotic, poorly planned block would be even more dangerous for cars not to mention families on foot. An eat in restaurant or retail establishment would be a much better fit for this space. Please do not allow a Taco Bell in front of our school.

Kristen (37919), April 13, 2023 at 5:59 PM

I am a Knoxville native and grew up going to Bearden Elementary and my children are currently zoned to attend there as well. I have concerns about adding an establishment that will inevitably bring in a lot of traffic in an already busy school zone. As with other fast food drive throughs in that area (Chik-fil-A for example), the traffic frequently backs up into Kingston Pike. I am concerned about the safety and efficiency of our children coming and going from school. Please take these comments into consideration. Thank you

Beth (37919), April 17, 2023 at 12:20 PM

I live in Forest Heights and my children attend Bearden Elementary School. While I enjoy Taco Bell and have no objections to adding one in the Bearden area, I am strongly opposed to adding one in the proposed site. The traffic in our area is already outrageous. Simply turning in and out of the school parking lot is already incredibly difficult, I can not imagine how much worse it will be if drive-thru restaurant of any kind is added in the proposed location.

I am not certainly not against development and generally have no qualms with it, but I beg you to consider the ramifications for those who live in the area. Please do not hinder our ability to safely take our children to school. If this is approved it will have ripple affects on locals, particularly families with children at Bearden Elementary School and Knoxville Adaptive Education Center.

Thank you for your consideration.

Christopher (37), April 25, 2023 at 7:02 AM

No need for a Taco Bell at the proposed location on Kingston Pike.

Increasing traffic by a school is Dangerous.

There is another Taco Bell within a mile.

There are many alternative locations.

Papermill rd. By Waffel House are several locations , to serve the same demographic area. With I-40 visibility and exit/entrance ramps, Hotels , increasing Taco Bell chances of revenue.

Thank you

Christopher Wren and Bella Wren

Michael (37919), April 25, 2023 at 10:44 AM

Bearden is a wonderful, historic district. It has a unique charm and stands out from the "normal" communities that are popping up all over the US. People come here for that unique character. Adding more fast food restaurants does nothing to improve the quality of our community. Kingston Pike in Bearden has very heavy traffic. Adding a new drive through fast food restaurant will only contribute more to the congestion and noise. Bearden currently has a Chick-fil-a right next to Kroger. During lunch time, that single fast food restaurant contributes to gridlock. Often times, the 4-lane road is reduced to 1 or 2 lanes simply because of the line of cars going to Chick-fil-a. Bearden needs sit down restaurants, not fast food. There is not a shortage of fast food restaurants in Knoxville. There's a Taco Bell within a mile or two of the location in question; why do we need another one? Let's use that space to put in something that would add value to the Bearden community, not something that is going to lower the quality of everyone's lives who live in the area.

Stephen (37919), April 25, 2023 at 12:26 PM

Stopped traffic waiting in line frequently blocks the right lane of Kingston Pike just up the road at Chick Filet. People are frequently blocked from turning left off Newcomb because people stop in the street waiting to turn into the Smoothie King. Traffic trying to reach the KP/Northshore intersection frequently backs up past the proposed location for Taco Bell. This traffic is as bad as the Cumberland Ave intersection where the CookOut had to close their Cumberland Ave entrance.

Ellen (37919), April 25, 2023 at 2:48 PM

My husband and I adamantly oppose the construction of a Taco Bell in this area. It destroys the feel of the neighborhood and is a great safety concern as well.

Sarah (37919), April 25, 2023 at 3:48 PM

I am an elementary school counselor that lives in Rocky Hill. I used to work at Bearden Elementary but I still drive home by there every day when I leave Pond Gap El. The traffic in the Bearden area has become increasingly busy and hectic! It's taking away from the charm of the Bearden community. Adding a Taco Bell not only would be an additional eye-sore but it

would only make things even more chaotic in that stretch. As a community member and school employee, I oppose this new business idea.

Janet (37919), April 26, 2023 at 7:50 AM

I oppose this drive through. As both a community member living in the Bearden area and as a employee of KCS I drive this area and parking lot regularly. I serve both schools as a related service provider and can attest to the already strained narrow driving area that exists between the two schools. And in addition, KAEC, as you well know as a special education school for students with emotional disturbances. The students frequently flee the school due to their emotional issues, and can be at risk, further, with the addition of an increase traffic nightmare that the Taco Bell drive-through would most definitely impact. In addition, KAEC is used during the summer for Knox county is extended school year program for every special ed kid in the district. The students require special consideration, which is why the site was chosen in the first place. I would encourage you to contact Knox County schools to discuss this matter further with administration before proceeding to grant Taco Bell access to that area. They may even want to purchase the property themselves.

Sabine (37919), April 26, 2023 at 8:35 AM

I oppose this location for a Taco Bell, really for any fast food. This area already is very congested during peak times and this would add to it. I would like to see this spot used for a shop not fast food that increases traffic.

Rebecca (37909), April 26, 2023 at 9:07 AM

I am appalled at the prospect of having a fast food establishment within such close proximity of our elementary school! This is an obvious choice for Taco Bell as it gives them a nearly captive audience of customers. Having raised two children with busy schedules, giving into the convenience of fast food is a battle in and of itself. Let alone when the location adjoins the school driveway. Not to mention there is literally another Taco Bell 2 miles away on the same road. Moreover, the traffic issues at this location are already atrocious. A drive through will create more opportunity for drivers to become distracted while approaching the elementary school. I oppose the building of a Taco Bell in this location for the health and safety of our children.

Susan (37919), April 26, 2023 at 11:40 AM

As Bearden resident, I strongly disapprove of a Taco Bell going in the location of the former antique mall. First of all it would be a constant issue with student drop off and pickup at Bearden elementary and secondly the traffic is all a constant issue in this area with bumper to bumper traffic. This would be a constant source of frustration with backups due to the drive through and cars trying to turn against traffic upon exiting.

Ryan (37919), April 26, 2023 at 2:33 PM

This stretch of Kingston pike is already very congested and I'm concerned at a drive thru would increase traffic. My office is within a few hundred yards of this and I regularly bike to work via the Bearden & Third Creek Greenways. I'm concerned that a fast-food restaurant would also affect the people who regularly use that greenway by increasing noise, unwanted smells, and traffic.

Shannon (37919), April 26, 2023 at 3:17 PM

I love this idea! We need to remove these blighted and dilapidated buildings full of homeless people and turn them into productive sites. We need jobs! We need businesses! We DO NOT need more empty buildings that attract crime and vagrants! I appreciate the developer taking action to improve our community!

Maria (37919), April 27, 2023 at 2:43 PM

To Whom It May Concern,

I am opposed to a drive through eatery at the site proposed by Taco Bell. For one thing, they already have a location near

Westtown Mall and another one on Cumberland Ave.

That sort of a business will only add to the horrendous congestion that is that section of Kingston Pk

This sort of business , like the Zip's drive through car wash, interferes with the schools' (pick up and drop off) traffic, of both Bearden Elementary and KAC.

Please think and take consideration for the safety of the parents, grandparents, and children that navigate that area on a daily basis during the school year.

An example of drive through congestion is the Chick-Filet by Kroger's a few blocks to the east of your proposed drive through location, where the right lane and the turning lanes at times block the flow of traffic on Kingston Pike.

We need housing, rather than another drive thru.

I would appreciate that you would take my concerns to heart, as you well see, I live in the neighborhood of this proposal and drive thru traffic so close to schools, traffic turning lanes, will just add to more wrecks, near misses, less walkable, and more headaches to those of us who live near that property.

Sincerely,
Maria Gall

Sam (37918), May 1, 2023 at 2:45 PM

I support the change of use for this property. It is currently in extreme disrepair and has become a homeless hotspot. I believe a Taco Bell would significantly improve the area. The traffic caused by the elementary school is unavoidable at certain times of the day which isn't during the "busy" times for Taco Bell.

Alexis (37919), May 3, 2023 at 9:49 PM

As much as my family like Taco Bell, this location I'm not close to ideal. The traffics going from East to West right there, toward Northshore is awful. Also, having a fast food drive through in this area is not really in keeping with the area. The signage, lights, traffic, noise from drive through with late and long hours, will be a sad thing to see in the area.

Janetta (37919), May 5, 2023 at 2:24 PM

Thank you so much for taking comments and considering the impact of the proposed changes on the community who lives here. As I am sure you are aware, this is a highly congested area even outside of typical rush hour times. As one who dwells in the adjacent neighborhood and as a parent who has a child in the nearby school, I cannot stress enough what a disaster a fast food drive through will present for us in addition the to traffic challenges we already must navigate. As a long time Taco Bell customer, I can assure you that this is a cumbersome location that I would not consider patronizing as it is too much hassle. There is another local Taco Bell location that I avoid for the same reason; I always choose a more conveniently located establishment even if I prefer the product. The design of Taco Bell drive throughs prevent "escape" and will certainly create backups into the already congested stretch of Kingston Pike. I don't think this move is good for the company or the community. Please consider another even nearby location if at all, perhaps on the other side of Kingston Pike that will not have to compete with school traffic. There has to be a better solution. Again, thank you for considering our comments.

Sarah (44311), May 5, 2023 at 5:18 PM

May 8th Neighborhood meeting notice to discuss project

[View Attachment](#)

Applicant Correspondence

May 5, 2023 at 5:27 PM

Please see attached for the proposed Taco Bell additional materials that will be presented at the neighborhood meeting and Planning Commission meeting

[View Attachment](#)

Applicant Correspondence

May 5, 2023 at 5:28 PM

Please see attached for the proposed Taco Bell additional materials that will be presented at the neighborhood meeting and Planning Commission meeting

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Applicant Correspondence

May 5, 2023 at 5:29 PM

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[View Attachment](#)

Applicant Correspondence

May 5, 2023 at 5:30 PM

Please see attached for the proposed Taco Bell additional materials that will be presented at the neighborhood meeting and Planning Commission meeting

[View Attachment](#)

Applicant Correspondence

May 5, 2023 at 5:30 PM

Please see attached for the proposed Taco Bell additional materials that will be presented at the neighborhood meeting and Planning Commission meeting

[View Attachment](#)

Applicant Correspondence

May 5, 2023 at 5:31 PM

Please see attached for the proposed Taco Bell additional materials that will be presented at the neighborhood meeting

and Planning Commission meeting

[View Attachment](#)

Sara (37919), May 8, 2023 at 10:51 PM

I oppose the Taco Bell request. We don't need the noise or the traffic that come with a drive through restaurant. It is too close to a residential neighborhood and open too late at night. Please vote against this proposal.

Brent (37919), May 9, 2023 at 10:04 AM

As a business owner in Bearden I WHOLLY SUPPORT this improvement. After reviewing the documents and listening to the developers I think they should be applauded for their efforts to improve this site and this stretch of Kingston Pike.

Barbara (37919), May 9, 2023 at 4:38 PM

I'd be happy to see a Taco Bell!

Graham (37919), May 9, 2023 at 4:43 PM

We are very concerned about the potential drive thru restaurant being added to the front of our neighborhood. This area is already burdened with excessive traffic and especially high cut through traffic. Adding a drive thru on the south side of Kingston Pike in this area is guaranteed to escalate this problem.

On top of the traffic, the drive through will add more, new noise for the front of the neighborhood with running cars, and a speaker into the night. We all know that a later crowd is attracted to a drive thru and this will be disruptive to residents trying to have time with their family or trying to sleep.

This aligns with the existing zoning that prohibits the drive thru today. There have been no changes to the area or our neighborhood that warrants changing the existing zoning, that was put in place to protect the area; the neighborhood, the nearby schools, etc.

Please consider our neighborhood and the residents that have been here for years. We rely on our local governments to protect our neighborhoods and our investments we've made in our homes.

William (37919), May 9, 2023 at 5:32 PM

The proposed Taco Bell is the best option. Traffic will not increase significantly as the traffic visiting the Taco Bell is traffic already here. The presence of three stores nearby will keep traffic in their zones. The length of the "driveway" feeding into dual drive thru lanes is long enough to prevent stacking of cars onto the pike. This will bring jobs, and a good late night meal option for workers at Bearden' bars. The current building is an eyesore and encourages illegal activity. I encourage you to vote to allow this Taco Bell

Paul (37919), May 9, 2023 at 11:47 PM

I live in this area and drive this section of Kingston Pike every day. Based on the data presented, I have serious concerns about the traffic impact on this section of Kingston Pike. It is already HIGHLY trafficked throughout the day, with traffic backed up from Northshore all the way to where this Taco Bell is being proposed. I also have concerns as a resident about the noise, traffic, and safety issues for Westwood, which will be used as a cut through to access this restaurant. We already contend with LOTS of traffic through the day, but now to have our neighborhood used as a cut-through for a 24-hour fast food restaurant will have a VERY adverse impact.

For these reasons I am strongly opposed to this proposal.

Finbarr (TN), May 10, 2023 at 9:28 AM

Monday's meeting emphasized the appearance of this blighted property; no one we've talked to believes the building should be saved. Our objection is that it is an inappropriate use of this property.

I have been a member of the Bearden Council since its inception. Some twenty years ago, we coordinated with neighborhoods, businesses and developers to create the Bearden Village Opportunities Plan*. This plan calls specifically for mixed-use. Recent re-coding has allowed for this and even encourages density through more height (3 to 5 stories) in order to make better use of our urban lands. The Bearden Council has supported Tony Cappiello in the past when he has embraced this concept as evidenced by this excerpt from an article in the Knoxville Focus by Mike Steeley:

"The Council is behind the efforts of a local developer, Tony Cappiello, to establish a "mixed use" zoning in part of their neighborhood."

As neighbors, we support projects that will improve our Bearden neighborhood. We do not believe another Taco Bell will do this.

[View Attachment](#)

Janetta (37919), May 10, 2023 at 10:16 AM

Thank you again for receiving comments from members of the community who are most affected by this proposed project since my schedule has not allowed attendance at a meeting. I cannot express enough what a potential disaster this is. The traffic is already a significant challenge for travel out of the neighborhood toward West Knoxville. Additional vehicles attempting to access a fast food drive through will only worsen an already cumbersome stretch of road. The current congestion is undeniable, and it's naive and/or dishonest to suggest that this change will not negatively impact the adjacent neighborhood and school. I am sure this move benefits someone, who is likely unaffected by the increased traffic, but at what cost to the rest of us who are just trying to function in our daily lives? At some point, we admit the truth and make the move that considers the greater good for the greater number. Taco Bell will remain in business if not right here in this most congested spot, and developers will still make plenty of money to allow themselves to enjoy their lives as we are trying to do in our community. Thank you again for hearing our concerns. Please don't make it harder for us.

Ashley (37919), May 10, 2023 at 11:37 AM

As a resident Westwood and mom of two children at Bearden Elementary School, I am strongly opposed to the proposed Taco Bell drive-thru going in front of our neighborhood and two schools on Kingston Pike. The current traffic congestion in this area of Kingston Pike is already a nightmare and adding a high traffic business will only add to this problem. This area is highly trafficked and is constantly backed up during school drop off / pick up, rush hour and when the interstate is experiencing traffic issues. The car rider line currently pulls off Kingston Pike in this proposed area and if this space is occupied traffic on Kingston Pike will be stopped between 2:30 and 3:00pm. There is currently a Taco Bell less than two miles from this proposed site. Please reconsider locating this business here - the neighborhood, schools, and those commuting down Kingston would be negatively impacted. Thank you!

Leslie (37919), May 10, 2023 at 1:31 PM

Their traffic numbers are wrong.

They compared trips to a sit-down restaurant the size of the existing 17000+ square foot building, not a typical 5000square foot restaurant like the local Applebee's.

Please read the attached analysis.

[View Attachment](#)

Miller (37919), May 10, 2023 at 2:21 PM

Please see the attached file with the upcoming speed hump approval plan from Knoxville City and Office of Neighborhoods. These will be installed in July 2023 due to existing traffic concerns from the neighborhood (and the City) and a completed traffic study from the City Engineering Office.

[View Attachment](#)

Chantelle (37919), May 10, 2023 at 2:42 PM

I have submitted via email (due to the length) new comments on the proposal.

Sarah (37919), May 10, 2023 at 3:07 PM

My concerns with the Taco Bell drive through are the heavy traffic on Kingston Pike and the undesirable amount of cut through traffic we already experience in Westwood including drivers going the wrong way on one-way streets and speeding. Our neighborhood has just recently completed a traffic study to help eliminate this cut through traffic. Our neighborhood is also already prone to burglaries which I can imagine will increase with more traffic coming through during these late hours. Walking in our neighborhood is difficult and not very safe with the aforementioned traffic concerns. This is our home and we'd like to enjoy our neighborhood without the constant flow of non-resident traffic.

Cars turning left onto Kingston Pike from the Taco Bell will increase accidents. With this being our everyday route to and from school and everyday lives with elementary aged children, that does not make me feel safe.

I am disappointed that the city did not require Taco Bell to do a traffic study. The traffic at the Northshore/Kingston Pike intersection has been a nightmare for too long and my understanding was that the city was working on solutions. This is the main cause for our cut-through traffic. Adding a drive through to the mix seems like a setback.

In support of my neighbors that live closest to the drive through, the noise and trash and lights and late night visitors is very concerning.

Chantelle (37919), May 10, 2023 at 6:29 PM

See attached.

[View Attachment](#)

Alanna (37919), May 10, 2023 at 8:56 PM

Letter attached.

[View Attachment](#)

Rachel (37919), May 11, 2023 at 9:08 AM

Please see attached.

[View Attachment](#)

Community Member Submitted during the meeting

Submitted at the meeting

[View Attachment](#)

Applicant Correspondence

Submitted during the meeting

Submitted at the meeting

[View Attachment](#)



Development Request

DEVELOPMENT

- Development Plan
- Planned Development
- Use on Review / Special Use
- Hillside Protection COA

SUBDIVISION

- Concept Plan
- Final Plat

ZONING

- Plan Amendment
 - Sector Plan
 - One Year Plan
- Rezoning

Taco Bell of America, LLC (Robert Sullivan)

Applicant Name Affiliation

2/23/2023 **4/13/2023** **4-D-23-SU**

Date Filed Meeting Date (if applicable) File Number(s)

CORRESPONDENCE

All correspondence related to this application should be directed to the approved contact listed below.

Sarah McGowan GPD Group, Inc.

Name / Company

520 S Main St Ste 2531 Akron OH 44311

Address

678-781-5074 / smcgowan@gpdgroup.com

Phone / Email

CURRENT PROPERTY INFO

Peoples Development Company, Inc. Pe 135 S Forest Park Blvd Knoxville TN 37939

Owner Name (if different) Owner Address Owner Phone / Email

5613 KINGSTON PIKE

Property Address

121 B B 035

1.02 acres

Parcel ID Part of Parcel (Y/N)? Tract Size

Knoxville Utilities Board

Knoxville Utilities Board

Sewer Provider Water Provider Septic (Y/N)

STAFF USE ONLY

N of Kingston Pk, west of N Northshore Dr

General Location

City **Council District 2** **C-G-1 (General Commercial)** **Commercial**

County District Zoning District Existing Land Use

West City **MU-SD (Mixed Use Special District)** **N/A (Within City Limits)**

Planning Sector Sector Plan Land Use Classification Growth Policy Plan Designation

DEVELOPMENT REQUEST

<input type="checkbox"/> Development Plan <input type="checkbox"/> Planned Development <input checked="" type="checkbox"/> Use on Review / Special Use	Related City Permit Number(s)
<input type="checkbox"/> Hillside Protection COA <input type="checkbox"/> Residential <input checked="" type="checkbox"/> Non-residential	
Home Occupation (specify) _____	
Other (specify) Restaurant with drive-through	

SUBDIVISION REQUEST

Proposed Subdivision Name	Related Rezoning File Number
Unit / Phase Number	
Total Number of Lots Created	
Additional Information _____	
<input type="checkbox"/> Attachments / Additional Requirements	

ZONING REQUEST

<input type="checkbox"/> Zoning Change	Proposed Zoning	Pending Plat File Number
<input type="checkbox"/> Plan Amendment		
Proposed Plan Designation(s)		
Proposed Density (units/acre) Previous Zoning Requests		
Additional Information _____		

STAFF USE ONLY

PLAT TYPE

- Staff Review Planning Commission

ATTACHMENTS

- Property Owners / Option Holders Variance Request

ADDITIONAL REQUIREMENTS

- COA Checklist (Hillside Protection)
 Design Plan Certification (Final Plat)
 Site Plan (Development Request)
 Traffic Impact Study
 Use on Review / Special Use (Concept Plan)

Fee 1	Total
\$1,600.00	
Fee 2	
Fee 3	

AUTHORIZATION

Taco Bell of America, LLC (Robert Sullivan)	2/23/2023
Applicant Signature	Date
Please Print	

Phone / Email

Peoples Development Company, Inc. Peoples Development Company	2/23/2023
Property Owner Signature	Date
Please Print	

I declare under penalty of perjury the foregoing (i.e., he/she/they is/are the owner of the property and that the application and all associated materials are being submitted with his/her/their consent) is true and correct.



Development Request

DEVELOPMENT

- Development Plan
- Planned Development
- Use on Review / Special Use
- Hillside Protection COA

SUBDIVISION

- Concept Plan
- Final Plat

ZONING

- Plan Amendment
 - SP
 - OYP
- Rezoning

Taco Bell of America, LLC (Robert Sullivan)

Leasee

Applicant Name

Affiliation

4/13/2023

File Number(s)

Date Filed

Meeting Date (if applicable)

4-D-23-SU

CORRESPONDENCE

All correspondence related to this application should be directed to the approved contact listed below.

- Applicant
- Property Owner
- Option Holder
- Project Surveyor
- Engineer
- Architect/Landscape Architect

Sarah McGowan

GPD Group, Inc.

Name

Company

520 S. Main Street, Suite 2531

Akron

OH

44311

Address

City

State

ZIP

678.781.5074

smcgowan@gpdgroup.com (Please use this for communication)

Phone

Email

CURRENT PROPERTY INFO

Peoples Development Company, Inc.

135 S. Forest Park Blvd, Knoxville, TN

Property Owner Name (if different)

Property Owner Address

Property Owner Phone

5613 Kingston Pike, Knoxville, TN 37919

121BB035

Property Address

Parcel ID

Knoxville Utility Board

Knoxville Utility Board

N

Sewer Provider

Water Provider

Septic (Y/N)

STAFF USE ONLY

General Location

Tract Size

City County

District

Zoning District

Existing Land Use

Planning Sector

Sector Plan Land Use Classification

Growth Policy Plan Designation

August 29, 2022

DEVELOPMENT REQUEST

Development Plan Use on Review / Special Use Hillside Protection COA

Residential Non-Residential

Home Occupation (specify) N/A

Other (specify) Restaurant with drive thru

Related City Permit Number(s)

**Not submitted
yet**

SUBDIVISION REQUEST

N/A

Proposed Subdivision Name

N/A

Unit / Phase Number

Combine Parcels Divide Parcel

N/A

Total Number of Lots Created

Related Rezoning File Number

N/A

Other (specify) _____

Attachments / Additional Requirements

ZONING REQUEST

Zoning Change

N/A

Proposed Zoning

Plan Amendment Change

N/A

Proposed Plan Designation(s)

N/A

N/A

Proposed Density (units/acre)

Previous Rezoning Requests

Other (specify) _____

Pending Plat File Number

N/A

STAFF USE ONLY

PLAT TYPE

Staff Review Planning Commission

ATTACHMENTS

Property Owners / Option Holders Variance Request

ADDITIONAL REQUIREMENTS

Design Plan Certification (*Final Plat*)

Use on Review / Special Use (*Concept Plan*)

Traffic Impact Study

COA Checklist (*Hillside Protection*)

Fee 1		Total
Fee 2		
Fee 3		

AUTHORIZATION

Applicant Signature

Taco Bell of America, LLC (Robert Sullivan)

Please Print

2/17/23
Date

949.233.8598

Phone Number

robert.sullivan@yum.com

Email

PEOPLES DEVELOPMENT COMPANY, INC.

By:

Property Owner Signature

Title: President

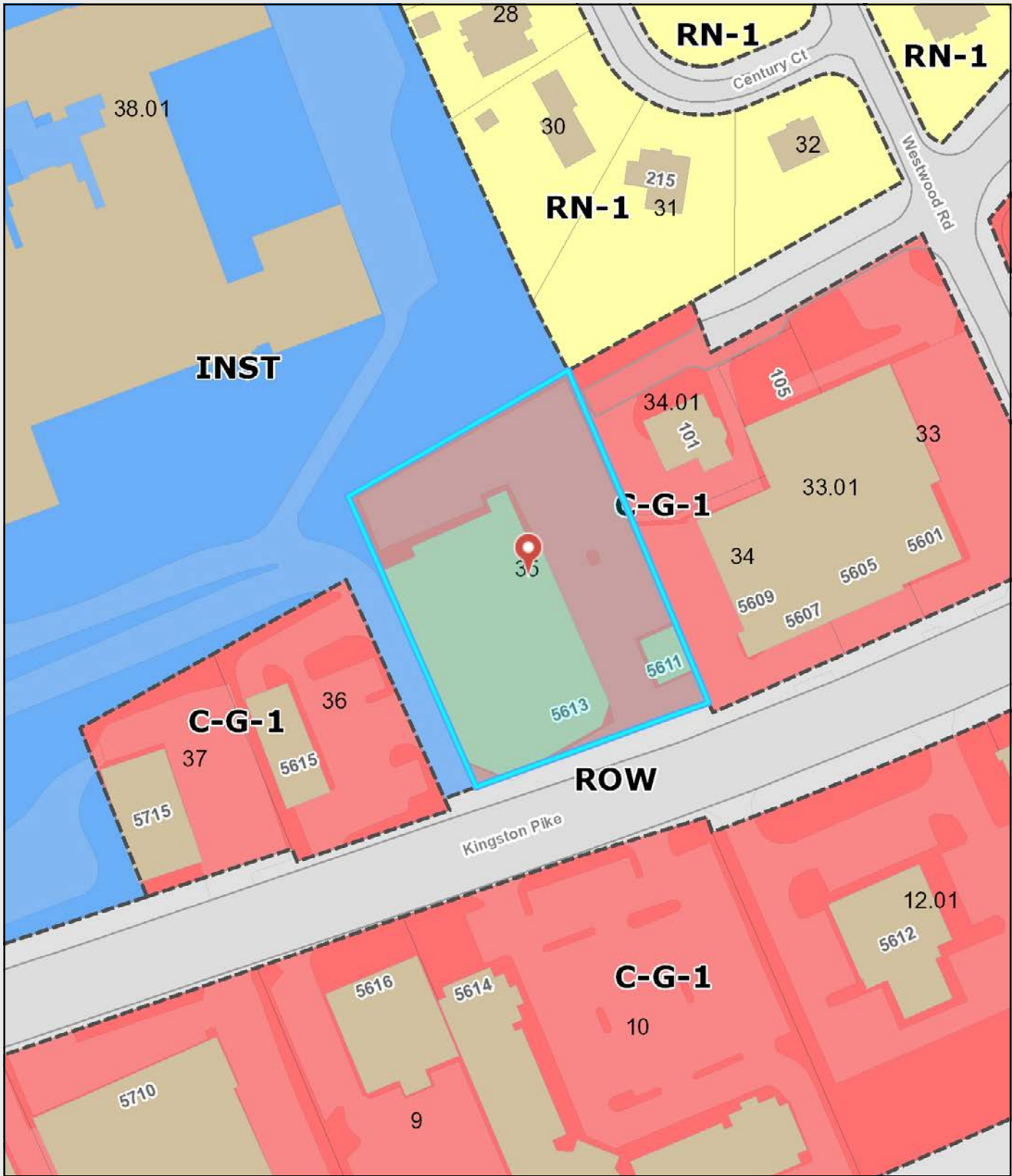
Anthony P. Cappiello, Jr.

February 15, 2023

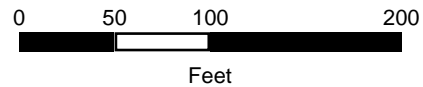
Please Print

Date

I declare under penalty of perjury the foregoing [i.e., he/she/they is/are the owner of the property and that the application and all associated materials are being submitted with his/her/their consent] is true and correct.



5613 Kingston Pike



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