



APPEAL OF DECISION

(Please Note: Original application and staff report are made a part of this application.)

Type: One Year Plan Amendment Sector Plan Amendment Rezoning Variance
 Street Name Change Right-of-Way Closure
 Certificate of Appropriateness Other: SPECIAL USE

Decision by: Planning Staff Planning Commission Other: _____ Date of Decision: 7/11/2024
Jurisdiction: City _____ Council District County _____ Commission District

Original Applicant Name: MIKE STEVENS HOMES Original File Number: 7-D-24-SU

Name of Owner of Subject Property: BUCK BAILEY MIKE STEVENS HOMES

Description of Subject Property (Include city block and parcel number or lot number):
9426 9430 9434 9438 HORIZON DRIVE 154 FE 006, 007 154FG 020,021

Zoning map of all property within 300 feet of the subject property is attached.

DECISION BEING APPEALED

INCREASE THE MAXIMUM HEIGHT OF A TOWNHOUSE IN THE NORTHSORE TOWN CENTER

REASON FOR THE APPEAL

Attach additional pages, if necessary. 1.) VIOLATION OF TENNESSEE STATE LAW TITLE 54, CHAPTER 17
SUBJECT PROPERTY IS WITHIN 1000 FEET OF PELLISSIPI PARKWAY, WHICH IS A DESIGNATED
SCENIC HIGHWAY AND PROTECTED BY TN CODE 54-17-114 WHICH STATES THE EXPOSED
PORTION OF BUILDINGS CONSTRUCTED OR ERECTED ON PROPERTY

PETITIONER INFORMATION

Name of Petitioner: WILLIAM BURTON

Petitioner's Interest in the Matter (Include a description of affected property owned by Petitioner): 3-STORY TOWNHOME
AT 9410 CLINGMANS DOME DRIVE AND PAID A PREMIUM FOR THE LOT AND THE
BUILD, PROPERTY VALUE WILL DECLINE IF APPROVED

Application Authorization: I hereby certify that I am the applicant/authorized representative for the above named petitioner.

Signature: [Signature]

All correspondence should be sent to: Name (Print): WILLIAM BURTON

9410 CLINGMANS DOME KNOXVILLE TN 37922
Street Address City State Zip

Phone: 321-505-9050 Fax: _____ E-mail: WLBURTON@GMAIL.COM

For Planning Staff Use Only

Application Accepted by Planning Staff Member: Michelle Portier

Appeal Fee Amount: \$500.00 Date Appeal Received: 7/24/24

BODY WHO WILL HEAR THE APPEAL & MEETING DATE OF THE APPEAL

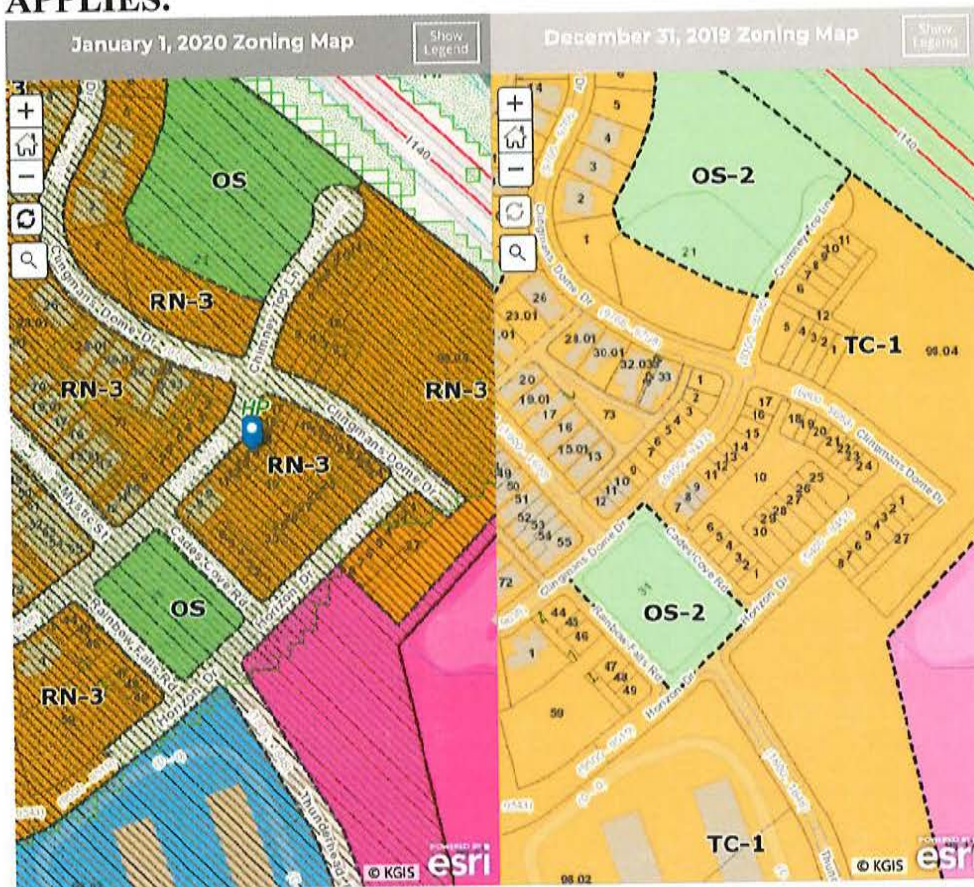
<input checked="" type="checkbox"/> City Council - 6 p.m. <u>Aug 20, 2024</u> Month • Date • Year	<input type="checkbox"/> County Commission - 7 p.m. _____ Month • Date • Year	<input type="checkbox"/> City BZA - 4 p.m. _____ Month • Date • Year	<input type="checkbox"/> Planning Commission - 1:30 p.m. _____ Month • Date • Year
---	---	--	--

LOCATED WITHIN ONE THOUSAND FEET (1,000') OF A SCENIC HIGHWAY SHALL NOT EXCEED A HEIGHT OF THIRTY-FIVE (35') ABOVE THE LEVEL OF THE HIGHWAY ON PROPERTY LOCATED BELOW THE LEVEL OF THE HIGHWAY, OR A HEIGHT OF THIRTH-FIVE FEET (35') ABOVE THE GROUND LINE ON PROPERTY LOCATED ABOVE THE LEVEL OF THE HIGHWAY. THE PROPERTY ON HORIZON DRIVE AND THE LEVEL OF THE HIGHWAY ARE BOTH AT A LEVEL OF 920 FEET (SEE PICTURE BELOW).

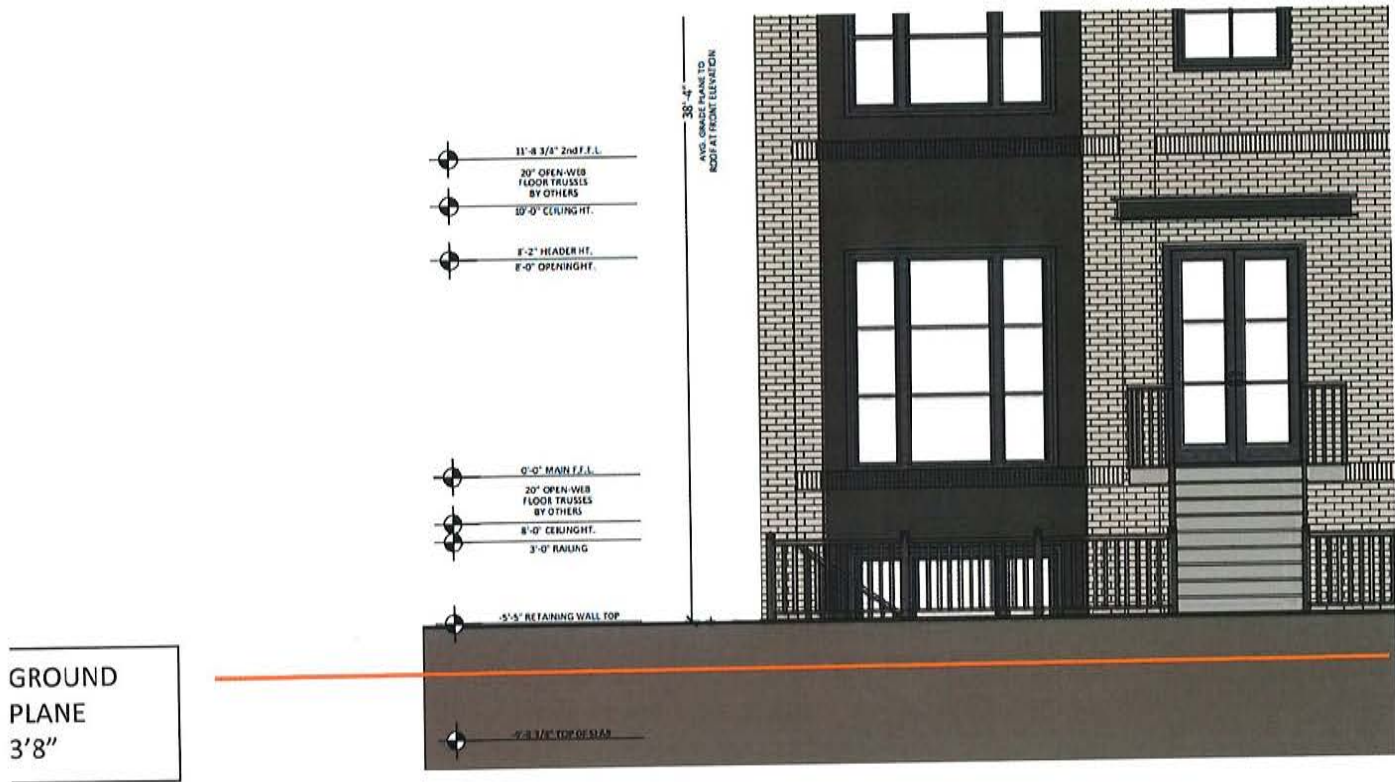


*IT IS IMPORTANT TO NOTE THAT THE ZONING LAWS CHANGED JANUARY 1, 2020. THE PROPERTY ON HORIZON DRIVE IS NO LONGER

ZONED TC-1 (TOWN CENTER), THE PROPERTY IS NOW ZONED RN-3, WHICH IS GENERAL RESIDENTIAL, THEREFORE THE EXEMPTION TO THE TENNESEE STATE LAW NO LONGER APPLIES.



2. VIOLATION OF KNOX COUNTY BUILDING CODE SECTION R101.2 THE BASEMENT IS MORE THAN 6 FEET ABOVE GRADE PLANE (AVERAGE GRADE), THEREFORE THE BASEMENT MEETS THE DEFINITION OF A STORY AS DEFINED BY THE 2006 INTERNATIONAL RESIDENTIAL CODE AND ADOPTED BY KNOX COUNTY ON 11/29/2006, AND SHOULD BE COUNTED AS THE FIRST FLOOR OF A FOUR FLOOR TOWNHOME, WHICH VIOLATES KNOX COUNTY BUILDING CODE SECTION R101.2. *SEE PICTURE AND ILLUSTRATION BELOW.



DEFINITION FROM KNOX COUNTY BUILDING CODES:

Three stories above grade plus below grade basement - Page 1 - Section R101.2 Habitable space is permitted on four stories because basements will not count as a story if the first floor is: 1. Less than 6 ft. above the grade plane (avg. grade), 2. Less than 6 ft. above finished ground for more than 50% of the perimeter and 3. Less than 12 ft above finished ground at all points. CABO did not allow habitable space in a basement and 3 stories above grade. The Zoning Ordinance will still limit buildings to 3 stories with habitable basements or attics counting as a story.

8 FOOT CEILING

+20" TRUSSES

9'8" FLOOR TO CEILING

-3'8" GROUND PLANE

6 FEET ABOVE THE GRADE PLANE

3. THE EXISTING 4-PLEX ON HORIZON DRIVE UNDER CONSTRUCTION ARE 3 FEET OVER THE 35 FEET LIMIT DUE TO AN OVERSIGHT AND APPROVAL BY THE CITY PLANNING COMMISSION. THIS

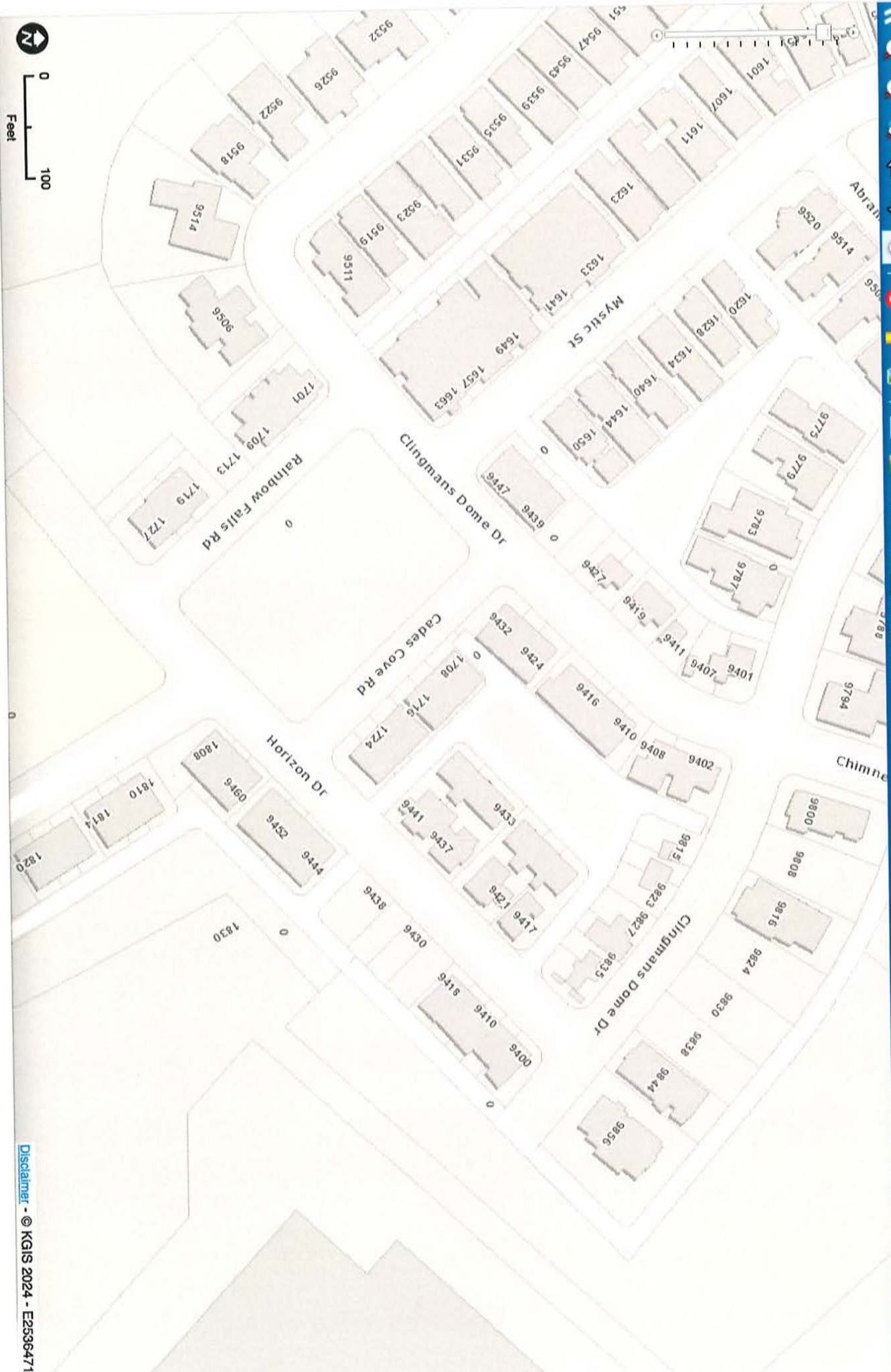
OVERSIGHT/APPROVAL HAS EXPOSED THE CITY AND COUNTY TO UNKNOWN FUTURE LITIGATION DUE TO VIOLATION OF TN CODE 54-17. DENYING OUR APPEAL SUPPORTS THE ARGUMENT THAT THE CITY PLANNING COMMISSION IS REQUESTING THAT THE CITY COUNCIL APPROVE ITS ATTEMPT TO COVER UP THEIR OVERSIGHT AND ATTEMPT TO COVER UP IT'S APPROVING THE EXISTING 4-PLEX OF TOWNHOMES ON HORIZON DRIVE BUILT TO 38' (FEET) BY MIKE STEVENS HOMES. IF THIS APPEAL IS DENIED, THE CITY COUNCIL OF KNOXVILLE IS KNOWINGLY VIOLATING TENNESSEE STATE LAW TITLE 54-17 TO MATCH THE EXISTING UNLAWFUL EXISTING 38' (FEET) ROOFLINE AND IS EXPOSING THE CITY AND COUNTY TO ADDITIONAL FUTURE LITIGATION.

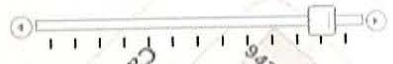
WE ARE ASKING THE CITY COUNCIL TO:
REVERSE THE DECISION AND DENY REQUEST





0 100 Feet





North



SPECIAL USE REPORT

▶ FILE #: 7-D-24-SU

AGENDA ITEM #: 56

AGENDA DATE: 7/11/2024

▶ APPLICANT: MIKE STEVENS HOMES

OWNER(S): NTC Holdings LLC

TAX ID NUMBER: 154 F E 006,007 154FG020, 021

[View map on KGIS](#)

JURISDICTION: City Council District 2

STREET ADDRESS: 9426 HORIZON DR (9430, 9434, 9438 Horizon Dr)

▶ LOCATION: Southeast side of Horizon Dr, northeast of Cades Cove Rd

▶ APPX. SIZE OF TRACT: 8423 square feet

SECTOR PLAN: Southwest County

GROWTH POLICY PLAN: N/A (Within City Limits)

ACCESSIBILITY: Access is via Horizon Dr, a local street with a pavement width of 35 ft, including on-street parking, within 50 ft of right-of-way.

UTILITIES: Water Source: First Knox Utility District

Sewer Source: First Knox Utility District

WATERSHED: Tennessee River

▶ ZONING: RN-3(C) (General Residential Neighborhood), C-R-2(C) (Regional Commercial), HP (Hillside Protection Overlay)

▶ EXISTING LAND USE: Agriculture/Forestry/Vacant Land

▶ PROPOSED USE: Increase the maximum height of a townhouse in Northshore Town Center

HISTORY OF ZONING: The property was rezoned from R-1 to TC-1 in 2001 (4-Q-01-RZ).

SURROUNDING LAND USE AND ZONING: North: Multi-family residential - RN-3(C) (General Residential Neighborhood), HP (Hillside Protection Overlay)

South: Commercial, agriculture/forestry/vacant land - RN-3(C) (General Residential Neighborhood), C-R-2(C) (Regional Commercial), HP (Hillside Protection Overlay)

East: Multi-family residential - RN-3(C) (General Residential Neighborhood), HP (Hillside Protection Overlay)

West: Multi-family residential - RN-3(C) (General Residential Neighborhood), C-R-2(C) (Regional Commercial), HP (Hillside Protection Overlay)

NEIGHBORHOOD CONTEXT: The Beau Monde Subdivision is the residential neighborhood within the Northshore Town Center development, which is developed with a mix of attached and detached houses.

STAFF RECOMMENDATION:

- ▶ **Approve the request to amend the previously approved planned district to increase the maximum height of a townhouse from 35 feet to approximately 41 feet, as presented on the development plan, subject to 1 condition.**

1. Meeting all other applicable requirements of the City of Knoxville Zoning Ordinance.

With the conditions noted above, this request meets the requirements of the former TC-1 (Town Center) zone, the Development Plan and Standards for Northshore Town Center, and the other criteria for approval of a special use for modifications to previously approved planned districts per Article 1.4.G.

COMMENTS:

The residential design standards for the Beau Monde subdivision have a maximum lot height of 35 ft for townhouses, measured from the average ground plane along the frontage of each townhouse unit to the top of flat and low slope roofs. This request is to increase the maximum height to correspond with the attached plan, which is approximately 41 ft for the townhouse on the right side of the plan (front elevation). All units will be the same height from the basement slab to the top of the roof.

STANDARDS FOR EVALUATING A SPECIAL USE (ARTICLE 16.2.F.2.)

1) THE USE IS CONSISTENT WITH ADOPTED PLANS AND POLICIES, INCLUDING THE GENERAL PLAN AND THE ONE-YEAR PLAN.

- A. The One Year Plan and Southwest City Sector Plan designation for this site are MU-CC (Mixed Use Community Center), which recommends a moderate intensity mix of residential, office, and commercial uses.
- B. A portion of the lots is within the HP (Hillside Protection Overlay) district, but they are exempt from those standards because they were platted before the adoption of the current zoning code and are less than 1 acre.

2) THE USE IS IN HARMONY WITH THE GENERAL PURPOSE AND INTENT OF THIS ZONING CODE.

- A. Except for the proposed height, the request is consistent with the zoning standards and the Northshore Town Center Development Plan and Standards adopted as part of the TC-1 and PC-1 zoning.

3) THE USE IS COMPATIBLE WITH THE CHARACTER OF THE NEIGHBORHOOD WHERE IT IS PROPOSED, AND WITH THE SIZE AND LOCATION OF BUILDINGS IN THE VICINITY.

- A. The proposed townhouse height is compatible with the surrounding townhouses in the Beau Monde subdivision. The townhouses will have a partial third story set back from the front building elevation, so from the street level, the perceived height of the structure is closer to 30 feet tall. The adjacent townhouses to the south also have a partial third story but are flush with the front elevation, so they have a taller perceived height from the street.

4) THE USE WILL NOT SIGNIFICANTLY INJURE THE VALUE OF ADJACENT PROPERTY OR BY NOISE, LIGHTS, FUMES, ODORS, VIBRATION, TRAFFIC, CONGESTION, OR OTHER IMPACTS DETRACT FROM THE IMMEDIATE ENVIRONMENT.

- A. This proposal will not change the allowed use of the site.

5) THE USE IS NOT OF A NATURE OR SO LOCATED AS TO DRAW SUBSTANTIAL ADDITIONAL TRAFFIC THROUGH RESIDENTIAL STREETS.

- A. No additional traffic will be generated.

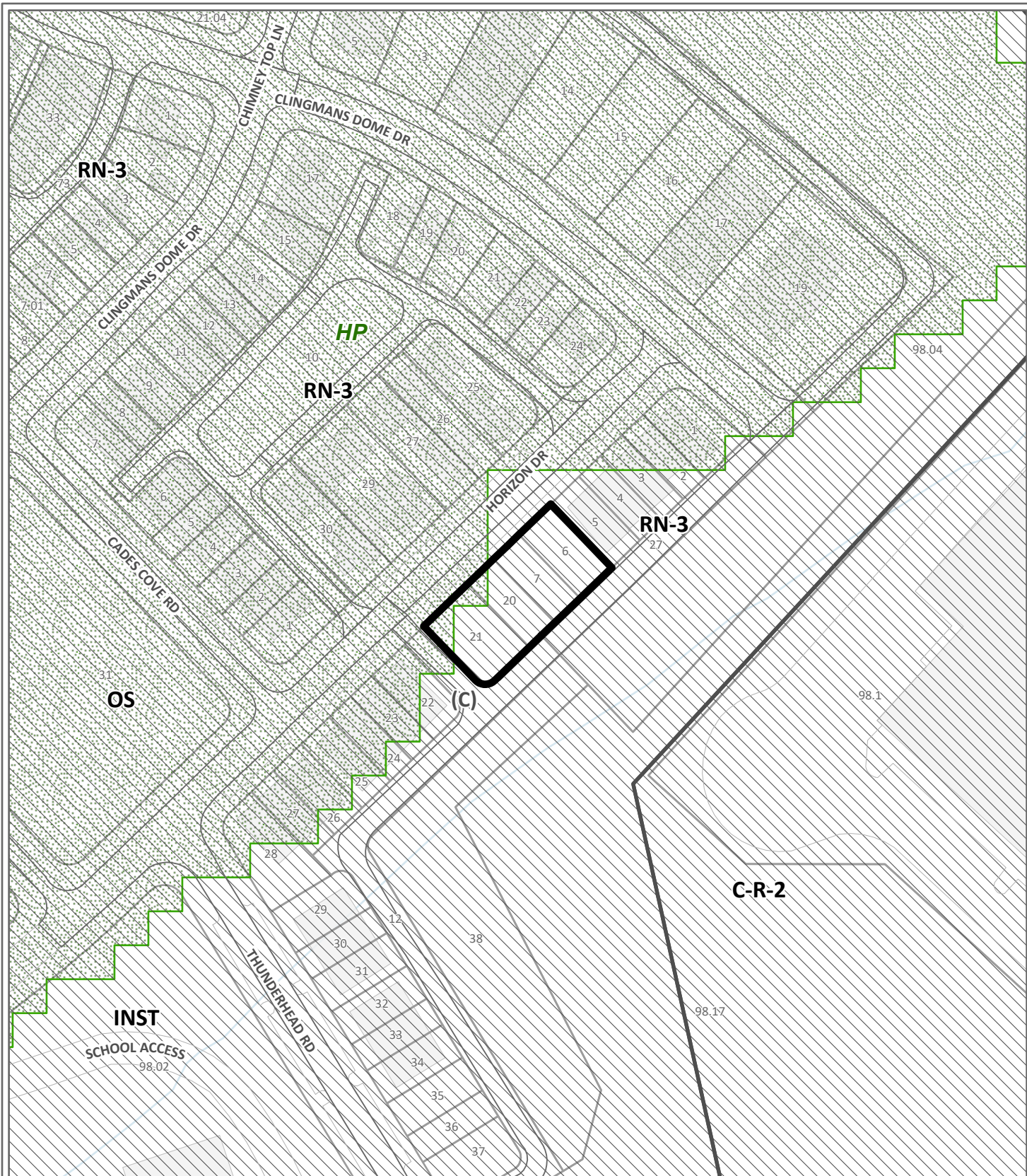
6) THE NATURE OF DEVELOPMENT IN THE SURROUNDING AREA IS NOT SUCH AS TO POSE A POTENTIAL HAZARD TO THE PROPOSED USE OR TO CREATE AN UNDESIRABLE ENVIRONMENT FOR THE PROPOSED USE.

- A. There are no known uses in the area that could be a potential hazard or create an undesirable environment for the proposed uses within the development.

ESTIMATED TRAFFIC IMPACT: Not required.

ESTIMATED STUDENT YIELD: Not applicable.

The Planning Commission's approval or denial of this request is final, unless the action is appealed to the Knoxville City Council. The date of the Knoxville City Council hearing will depend on when the appeal application is filed.



SPECIAL USE

7-D-24-SU

Petitioner: Mike Stevens Homes



Increase the maximum height of a townhouse in the Northshore Town Center Master Plan in RN-3(C) (General Residential Neighborhood), C-R-2(C) (Regional Commercial), HP (Hillside

Map No: 154
Jurisdiction: City

Original Print Date: 6/3/2024
 Knoxville - Knox County Planning Commission * City / County Building * Knoxville, TN 37902

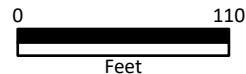
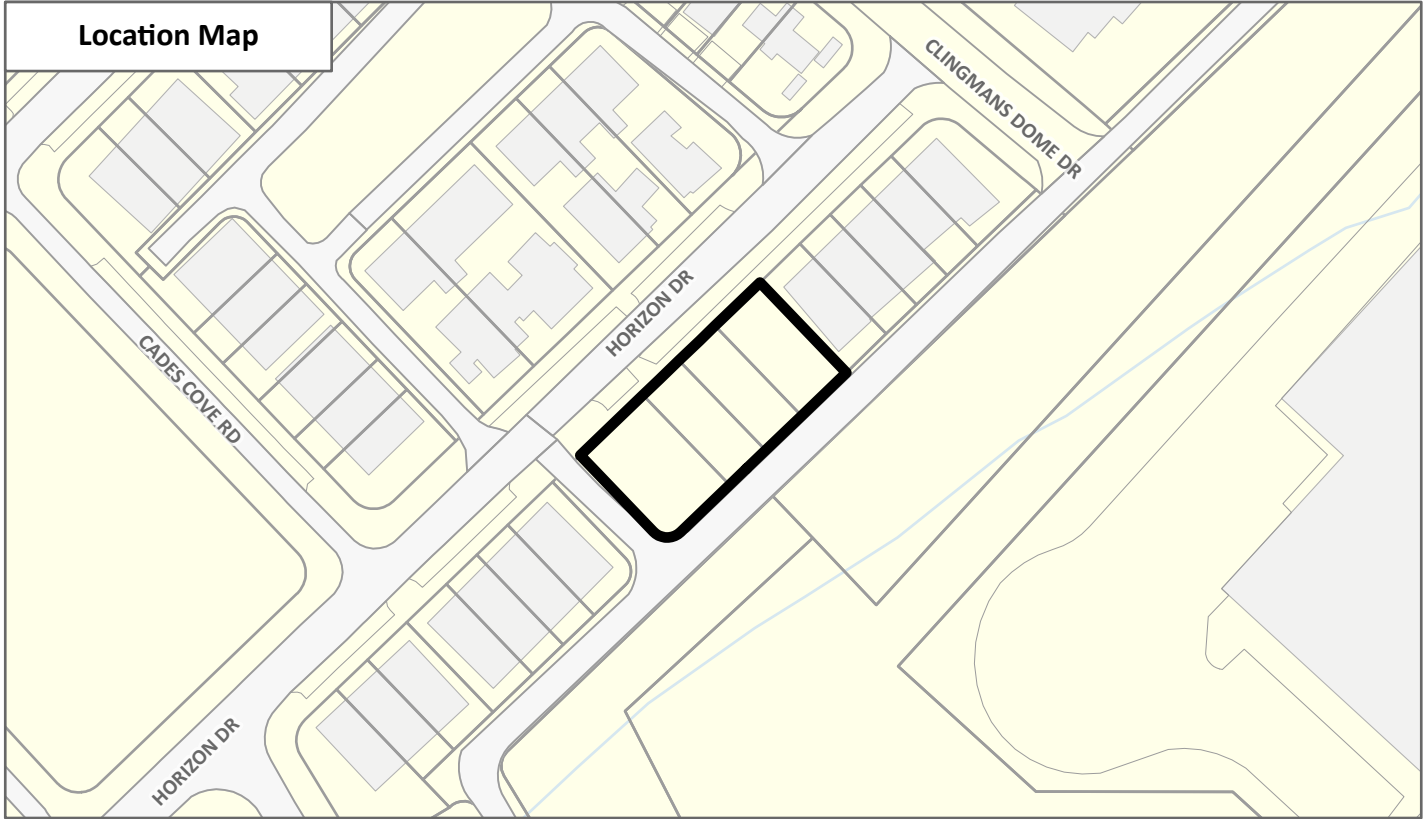


Exhibit A. Contextual Images

Location Map



Aerial Map

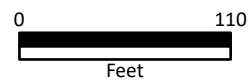


CONTEXTUAL MAPS 1

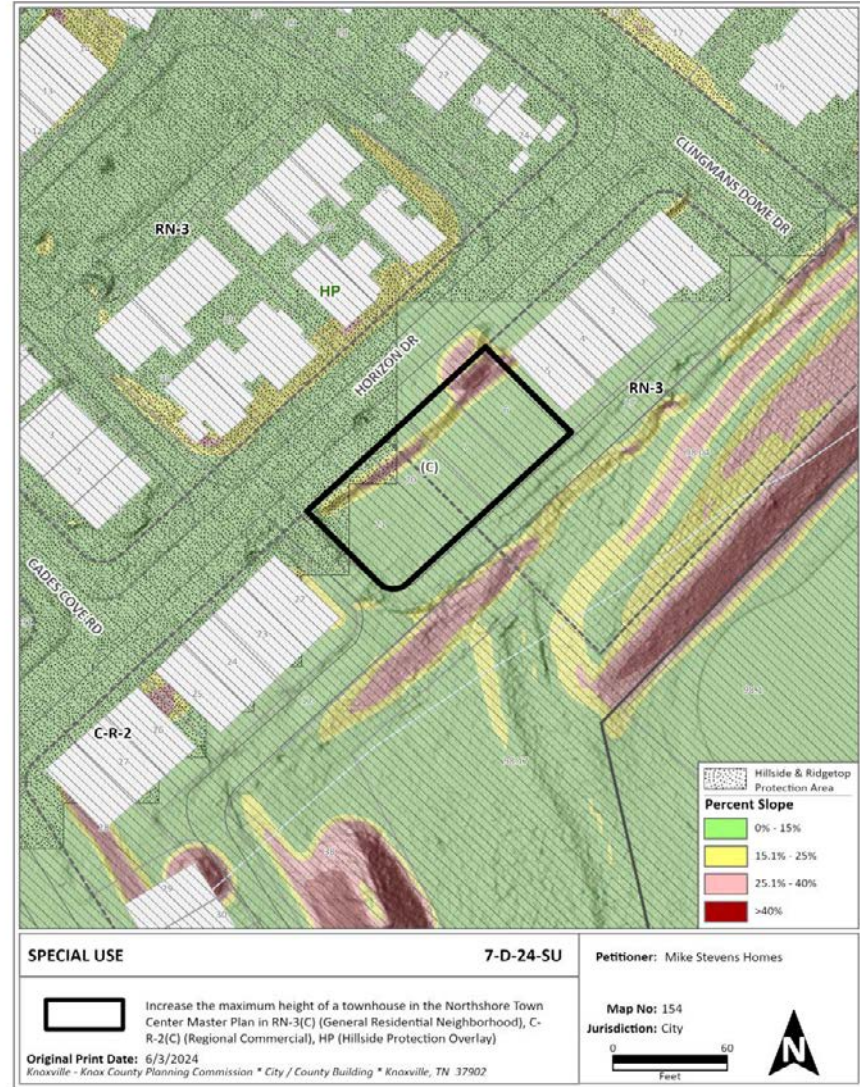
7-D-24-SU



Case boundary



CATEGORY	SQFT	ACRES	RECOMMENDED DISTURBANCE BUDGET (Percent)	DISTURBANCE AREA (Sqft)	DISTURBANCE AREA (Acres)
Total Area of Site	8,423.5	0.193			
Non-Hillside	7,474.2	0.172	N/A		
0-15% Slope	491.2	0.011	100%	491.2	0.011
15-25% Slope	317.3	0.007	50%	158.7	0.004
25-40% Slope	140.7	0.003	20%	28.1	0.001
Greater than 40% Slope	0.0	0.000	10%	0.0	0.000
Ridgetops					
Hillside Protection (HP) Area	949.2	0.022	Recommended disturbance budget within HP Area	678.0	0.016
			Percent of HP Area	71.4%	



CONTACT INFORMATION:

GENERAL CONTRACTOR: MIKE STEVENS HOMES
9515 BLUEGRASS RD.
KNOXVILLE, TN 37922
CONTACT: PAIGE BRUMMETT
(865) 368-8333
paigeb@mikestevenshomes.com

DESIGNER: BUCK BAILEY DESIGN, LLC.
1008 SAINT JOHNS DR.
MARYVILLE, TN 37801
(971) 227-2628
buck@buckbaileydesign.com

REVISION INFORMATION:

MASTER SET
revisions as per PB

DRAWING INDEX:

- A1 PROJECT INFO, SITE PLAN
- A2 PERSPECTIVES
- A3 ELEVATIONS
- A4.1-4.4 SIDE ELEVATIONS, SECTIONS
LOTS 182,183,18,19
- A5 SECTIONS, DETAILS
- B1.1 FOUNDATION PLAN, DETAILS
- B1.2 LOWER FLOOR PLAN
- B2 MAIN FLOOR PLAN
- B3 SECOND FLOOR PLAN
- B4 THIRD FLOOR PLAN
- B5 GENERAL NOTES, GARAGE DOOR DETAIL

> SEE TRUSS MANUFACTURER'S DRAWINGS FOR FLOOR AND ROOF TRUSSES AND FRAMING

> TO PRINT PAGES IN SCALE:
BEFORE BATCH PRINTING CHECK PRINT ON 24x36 D-SIZE PAPER @ 1:1 RATIO, NO SCALING OR "PRINT TO FIT MARGINS". VERIFY DIMENSIONS ARE IN SCALE USING ARCHITECT SCALE AND ADJUST PRINT SETTINGS AS NEEDED.

AREA TABULATION:

LOT #	182	183	18	19
GARAGE	623	556	592	745
DRIVEWAY ON LOT*	210	207	185	781
DRIVEWAY TO STREET	302	301	279	965
PATIO, RETG. WALL	346	347	301	600
LOWER FLR. HTD.	614	535	585	752
MAIN FLOOR HTD.	1237	1087	1162	1496
SECOND FLOOR HTD.	1237	1087	1162	1496
THIRD FLOOR HTD.	440	416	416	584
TOTAL HTD. AREA	3528	3125	3325	4328
UPPER ROOF AREA	743	713	713	954
LOWER ROOF AREA	1219	1087	1145	1449
UPPER / LOWER RATIO	61%	67%	62%	66%
LOT AREA	2115	1692	1692	2935
BUILDING FOOTPRINT	1276	1110	1183	1542
BUILDING COVERAGE	60%	66%	70%	53%
IMPERVIOUS AREA	1583	1438	1478	2097
IMPERVIOUS COVERAGE*	75%	85%	87%	71%

* DRIVEWAYS TO BE PERVIOUS CONC.

SITE PLAN NOTES:

- LAND USE: TOWNHOMES
- CONNECT DOWNSPOUTS TO CONT'S DRAIN TILE (PERF PIPE) AROUND BUILDING AT FOOTINGS. LOCATE DRAIN TILE OUTLETS SUCH THAT WATER FLOWS ARE DIRECTED TO PROPER CATCH FACILITIES OR NATURAL AREAS.
- CONTRACTOR TO ESTABLISH TEMPORARY ANNUAL RYE GRASS DURING CONSTRUCTION, AND PERMANENT PERENNIAL TURFGRASS AFTER CONSTRUCTION IN DISTURBED AREAS.
- CONTRACTOR TO PROVIDE SILT FENCING, SWAYES, AND OTHER CATCHMENTS AS PER LOCAL CODE.
- CONTRACTOR TO MARK CONSTRUCTION ACTIVITY BOUNDARY AND PERFORM REGULAR CLEANUP OF BLOWN DEBRIS, ETC.
- CONTRACTOR TO PROVIDE GARAGE CONSTRUCTION DRIVEWAY, MATERIAL AND VEHICLE STAGING AREAS AS PER LOCAL CODE.

RADON MITIGATION VENTING:

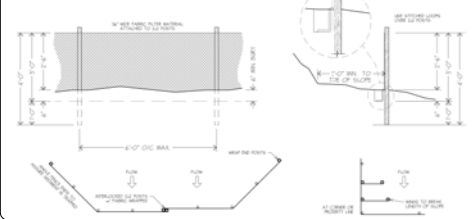
TO VENT SLABS :
INSTALL 4" PVC SCHED 40 PIPE SWEEP INTO STEMWALL WITH 90 DEGREE TURN TO 10' PERF PIPE EXTENDING INTO GRAVEL BED.

EXTEND VENT THROUGH HEATED WALL TO ROOF TOWARDS REAR OF BLDG. TERMINATE MIN 12" ABOVE ROOF AND 10' HORIZ FROM OPERABLE WINDOWS.

PROVIDE ONE VENT FOR EVERY SEPARATE SLAB AND ONE VENT FOR EVERY 2000 SF OF SLAB OR SEALED CRAWL SPACE AREA.

ADD FAN IN ATTIC IF TESTING YIELDS MORE THAN 4 PCIL CONTINUAL CONCENTRATION.

SILT FENCE DETAIL



This site plan is intended as a design drawing, not a technical or certified drawing. Additional information not appearing shall be provided by others.

Designer provides site plans per client instructions. Client will be responsible for obtaining all applicable current site planning information (see below).

Designer is not responsible for verifying site planning information obtained from client or any source, and does not guarantee site plans to be permissible.

Site planning information includes zoning, setbacks, easements, overlays, utility locations, accessibility requirements, fire department access, etc.

Site planning information also includes topographics, drainage and water retention requirements, silt fence details, construction site requirements, etc.

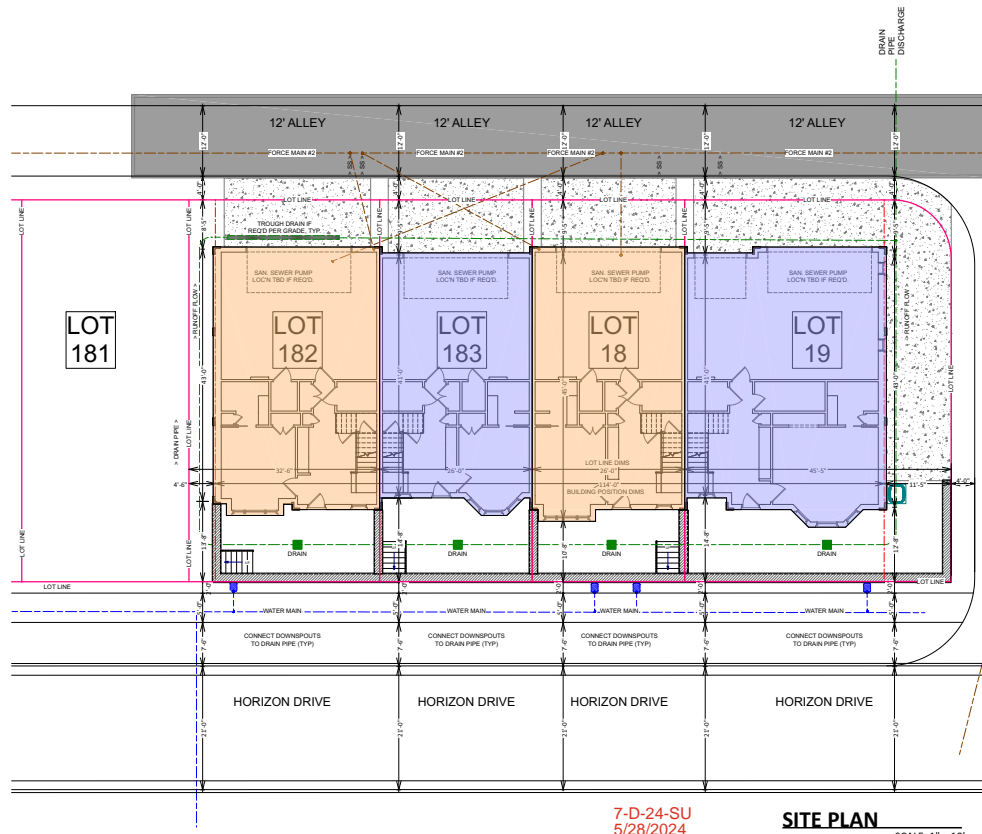
Client is advised to have a registered surveyor, civil engineer, and geotech to verify all site plan information and advise client and designer of changes needed for permitting.

CODE AND ZONING COMPLIANCE, PERMITABILITY, and I/O POLICIES

Buck Bailey, designer, is practicing as a "building designer", not as an "architect" or "engineer". Service scope is limited to providing design drawings. Designer does not carry a professional stamp, and therefore cannot certify building or site plans to be fully compliant with zoning or building codes.

Compliance is to be achieved via information gathered from various sources, and will be included in the plans as provided to the designer. Any non-compliance issues shall be reported to the designer.

By using these design plans for construction, client, builder, and subcontractors acknowledge and accept that Buck Bailey dba Buck Bailey Design will not be held responsible for any costs associated with remediating zoning or code compliance issues, or any issues resulting from errors and omissions.



7-D-24-SU
5/28/2024
SITE PLAN
SCALE: 1" = 10'



1/A2



3/A2



2/A2



4/A2

7-D-24-SU
5/28/2024



1/A3

FRONT ELEVATION

SCALE: 3/16" = 1'-0"

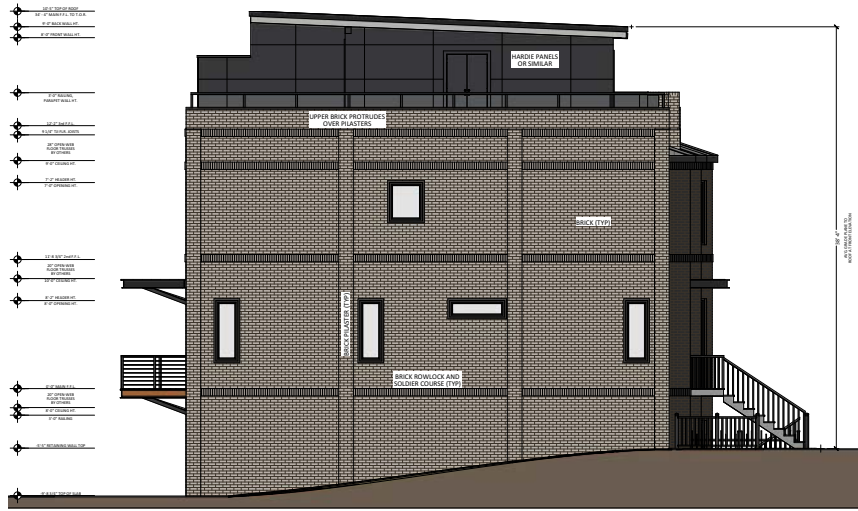


2/A3

REAR ELEVATION

SCALE: 3/16" = 1'-0"

7-D-24-SU
5/28/2024



1/A4

LEFT SIDE ELEVATION

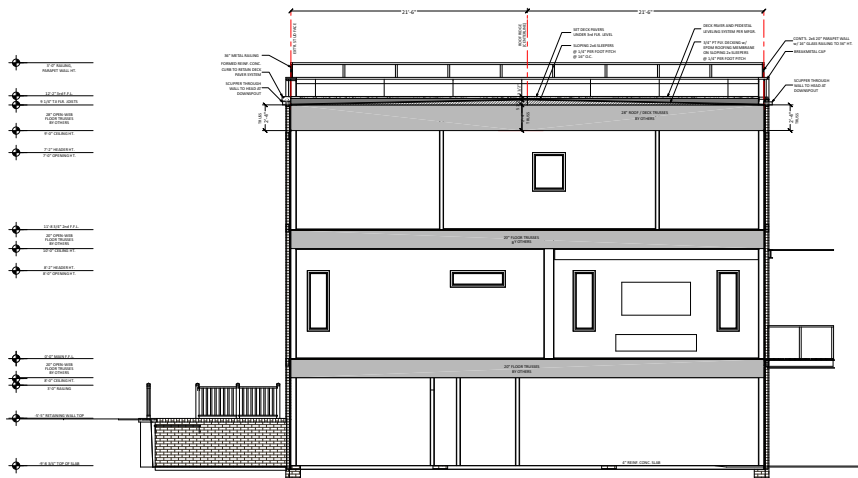
SCALE: 3/16" = 1'-0"



2/A4

RIGHT SIDE ELEVATION

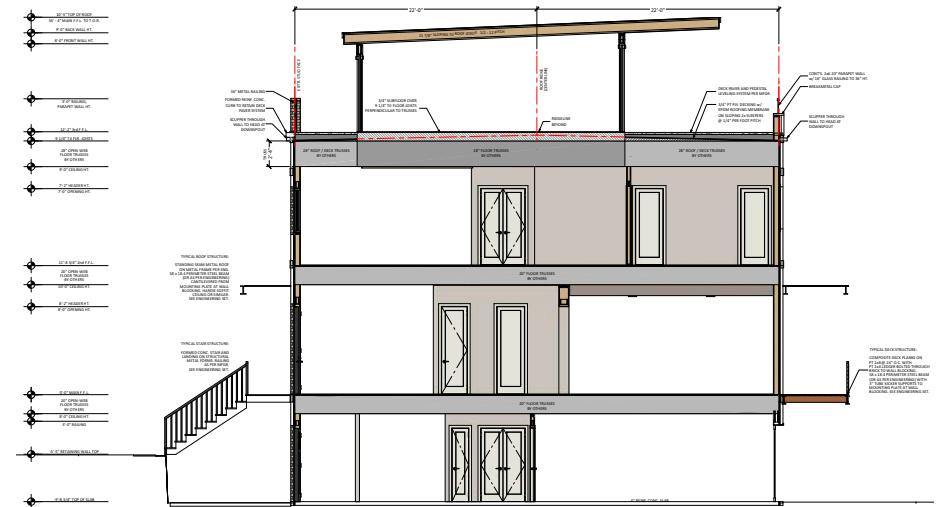
SCALE: 3/16" = 1'-0"



3/A4 - Lot 182

SECTION AT PARAPET WALL

SCALE: 3/16" = 1'-0"



4/A4 - Lot 182

SECTION AT INTERIOR

SCALE: 3/16" = 1'-0"

SHEET METAL FLASHING NOTE:
 THE SHEET METAL ASSEMBLIES PROVIDED SHALL BE WARRANTED AS A COMPLETE WEATHER BARRIER SYSTEM INCLUDING MOISTURE PENETRATION. SHEET METAL REPRESENTATIONS ON THESE DOCUMENTS ARE FOR LOCATION AND AESTHETIC EFFECT ONLY AND ARE NOT INTENDED AS APPLICATION DETAILS.

FABRICATOR AND INSTALLER ARE RESPONSIBLE FOR JOINT CALLING, FLASHING, CONNECTIONS TO SIMILAR MATERIALS, COMPATIBILITY WITH DISSIMILAR MATERIALS, AND ALL OTHER APPLICATION AND CONNECTION DETAILS NEEDED FOR PRODUCT PERFORMANCE AS A COMPLETE WEATHER BARRIER WITH NO SUBSTRATE DAMAGE SYSTEM. ALL SHEET METAL COPINGS, FLASHING, AND TRIMS ARE TO BE FABRICATED AS RECOMMENDED BY THE ARCHITECTURAL SHEET METAL MANUAL, 7TH EDITION.

IT WILL BE THE RESPONSIBILITY OF THE FABRICATOR/INSTALLER TO SUBMIT SHOP DRAWINGS FOR ALL SHEET METAL WORK TO OWNER AND DESIGNER FOR REVIEW AND APPROVAL PRIOR TO FABRICATION.

7-D-24-SU
 5/28/2024



1/A4

LEFT SIDE ELEVATION

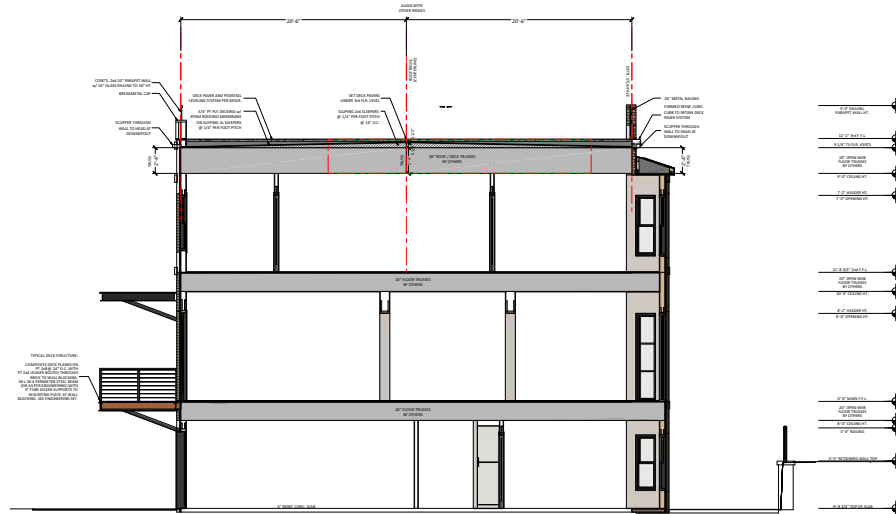
SCALE: 3/16" = 1'-0"



2/A4

RIGHT SIDE ELEVATION

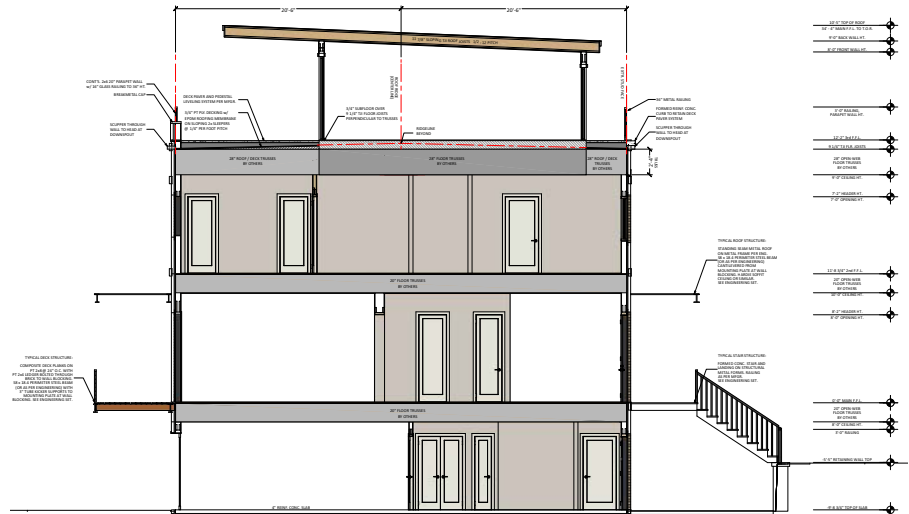
SCALE: 3/16" = 1'-0"



3/A4 - Lot 183

SECTION AT PARAPET WALL

SCALE: 3/16" = 1'-0"



4/A4 - Lot 183

SECTION AT INTERIOR

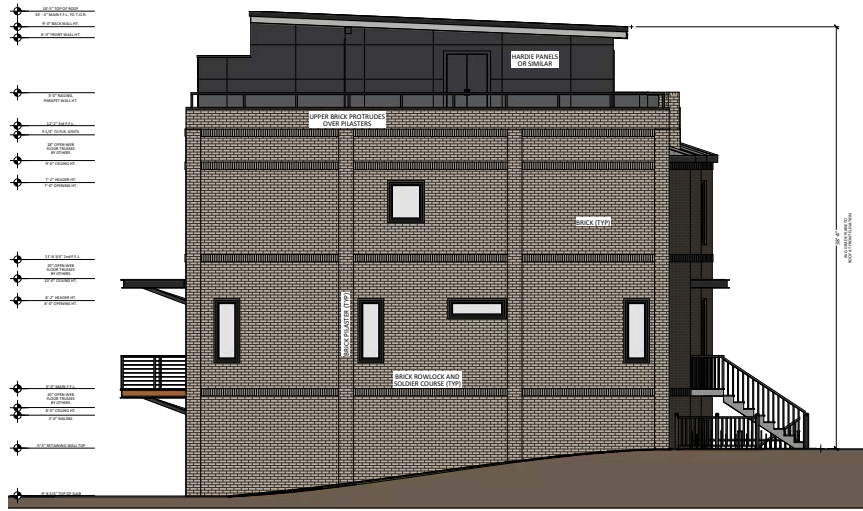
SCALE: 3/16" = 1'-0"

SHEET METAL FLASHING NOTE:
 THE SHEET METAL ASSEMBLIES PROVIDED SHALL BE WARRANTED AS A COMPLETE WEATHER BARRIER SYSTEM INCLUDING MOISTURE PENETRATION. SHEET METAL REPRESENTATIONS ON THESE DOCUMENTS ARE FOR LOCATION AND AESTHETIC EFFECT ONLY AND ARE NOT INTENDED AS APPLICATION DETAILS.

FABRICATOR AND INSTALLER ARE RESPONSIBLE FOR JOINT CALLING, FLASHING, CONNECTIONS TO SIMILAR MATERIALS, COMPATIBILITY WITH DISSIMILAR MATERIALS, AND ALL OTHER APPLICATION AND CONNECTION DETAILS NEEDED FOR PRODUCT PERFORMANCE AS A COMPLETE WEATHER BARRIER WITH NO SUBSTRATE DAMAGE. SYSTEM, ALL SHEET METAL COPINGS, FLASHING, AND TRIMS ARE TO BE FABRICATED AS RECOMMENDED BY THE ARCHITECTURAL SHEET METAL MANUAL, 7TH EDITION.

IT WILL BE THE RESPONSIBILITY OF THE FABRICATOR/INSTALLER TO SUBMIT SHOP DRAWINGS FOR ALL SHEET METAL WORK TO OWNER AND DESIGNER FOR REVIEW AND APPROVAL PRIOR TO FABRICATION.

7-D-24-SU
 5/28/2024



1/A4

LEFT SIDE ELEVATION

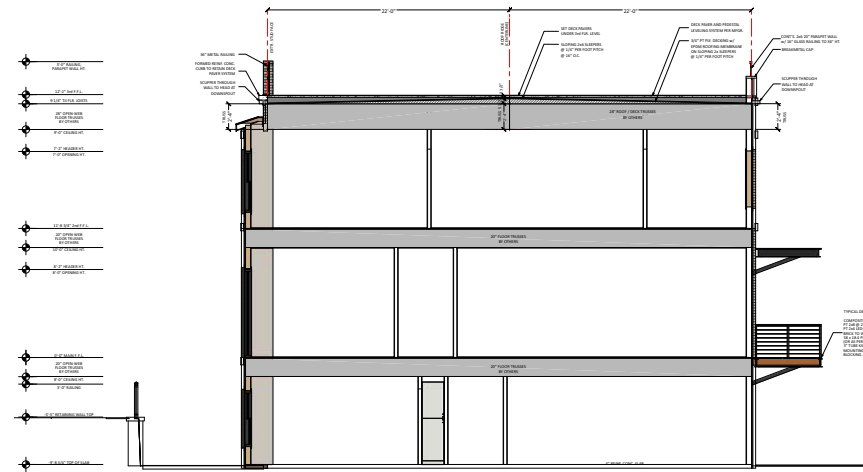
SCALE: 3/16" = 1'-0"



2/A4

RIGHT SIDE ELEVATION

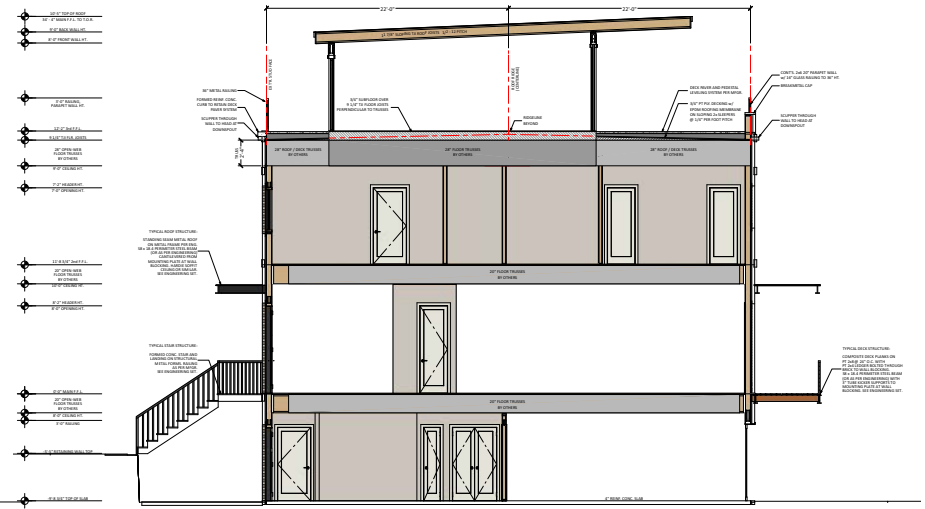
SCALE: 3/16" = 1'-0"



3/A4 - Lot 18

SECTION AT PARAPET WALL

SCALE: 3/16" = 1'-0"



4/A4 - Lot 18

SECTION AT INTERIOR

SCALE: 3/16" = 1'-0"

SHEET METAL FLASHING NOTE:
 THE SHEET METAL ASSEMBLIES PROVIDED SHALL BE WARRANTED AS A COMPLETE WEATHER BARRIER SYSTEM INCLUDING MOSTURE PENETRATION. SHEET METAL REPRESENTATIONS ON THESE DOCUMENTS ARE FOR LOCATION AND AESTHETIC EFFECT ONLY AND ARE NOT INTENDED AS APPLICATION DETAILS.

FABRICATOR AND INSTALLER ARE RESPONSIBLE FOR JOINT CALLING, FLASHING, CONNECTIONS TO SIMILAR MATERIALS, COMPATIBILITY WITH DISSIMILAR MATERIALS, AND ALL OTHER APPLICATION AND CONNECTION DETAILS NEEDED FOR PRODUCT PERFORMANCE AS A COMPLETE WEATHER BARRIER WITH NO SUBSTRATE DAMAGE. SYSTEM, ALL SHEET METAL COPINGS, FLASHING, AND TRIMS ARE TO BE FABRICATED AS RECOMMENDED BY THE ARCHITECTURAL SHEET METAL MANUAL, 7TH EDITION.

IT WILL BE THE RESPONSIBILITY OF THE FABRICATOR/INSTALLER TO SUBMIT SHOP DRAWINGS FOR ALL SHEET METAL WORK TO OWNER AND DESIGNER FOR REVIEW AND APPROVAL PRIOR TO FABRICATION.

7-D-24-SU
 5/28/2024



LEFT SIDE ELEVATION

1/A4

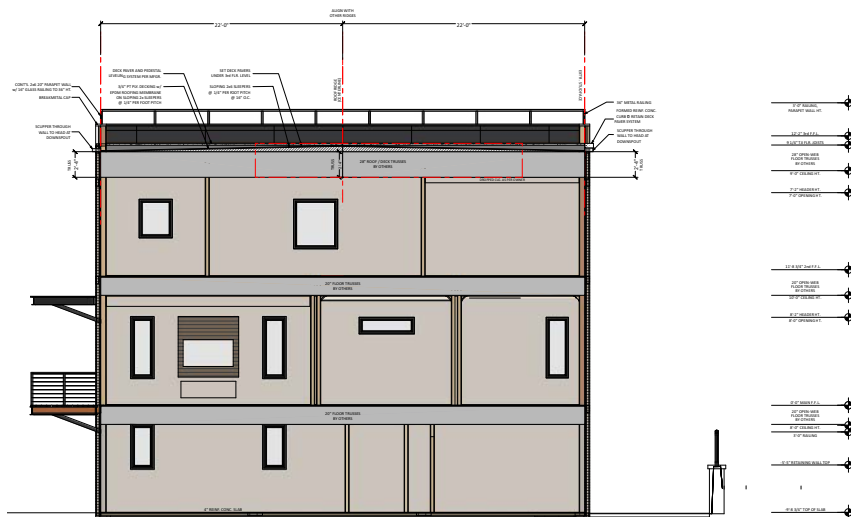
SCALE: 3/16" = 1'-0"



RIGHT SIDE ELEVATION

2/A4

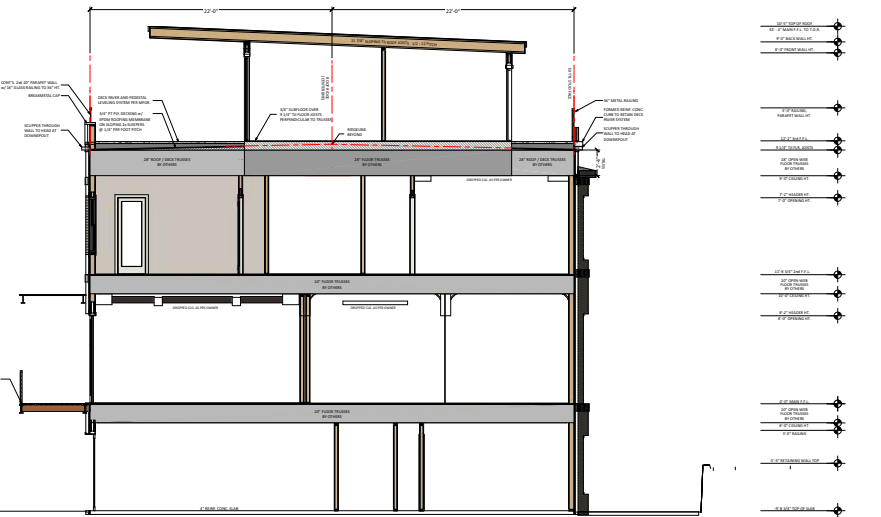
SCALE: 3/16" = 1'-0"



SECTION AT PARAPET WALL

3/A4 - Lot 19

SCALE: 3/16" = 1'-0"



SECTION AT INTERIOR

4/A4 - Lot 19

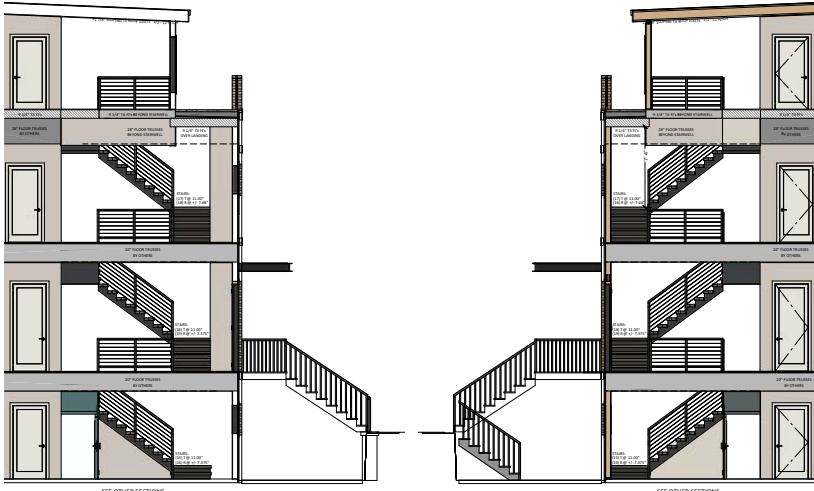
SCALE: 3/16" = 1'-0"

SHEET METAL FLASHING NOTE:
 THE SHEET METAL ASSEMBLIES PROVIDED SHALL BE WARRANTED AS A COMPLETE WEATHER BARRIER SYSTEM INCLUDING MOISTURE PENETRATION. SHEET METAL REPRESENTATIONS ON THESE DOCUMENTS ARE FOR LOCATION AND AESTHETIC EFFECT ONLY AND ARE NOT INTENDED AS APPLICATION DETAILS.

FABRICATOR AND INSTALLER ARE RESPONSIBLE FOR JOINT CALLING, FLASHING, CONNECTIONS TO SIMILAR MATERIALS, COMPATIBILITY WITH DISSIMILAR MATERIALS, AND ALL OTHER APPLICATION AND CONNECTION DETAILS NEEDED FOR PRODUCT PERFORMANCE AS A COMPLETE WEATHER BARRIER WITH NO SUBSTRATE DAMAGE SYSTEM. ALL SHEET METAL COPINGS, FLASHING, AND TRIMS ARE TO BE FABRICATED AS RECOMMENDED BY THE ARCHITECTURAL SHEET METAL MANUAL, 7TH EDITION.

IT WILL BE THE RESPONSIBILITY OF THE FABRICATOR/INSTALLER TO SUBMIT SHOP DRAWINGS FOR ALL SHEET METAL WORK TO OWNER AND DESIGNER FOR REVIEW AND APPROVAL PRIOR TO FABRICATION.

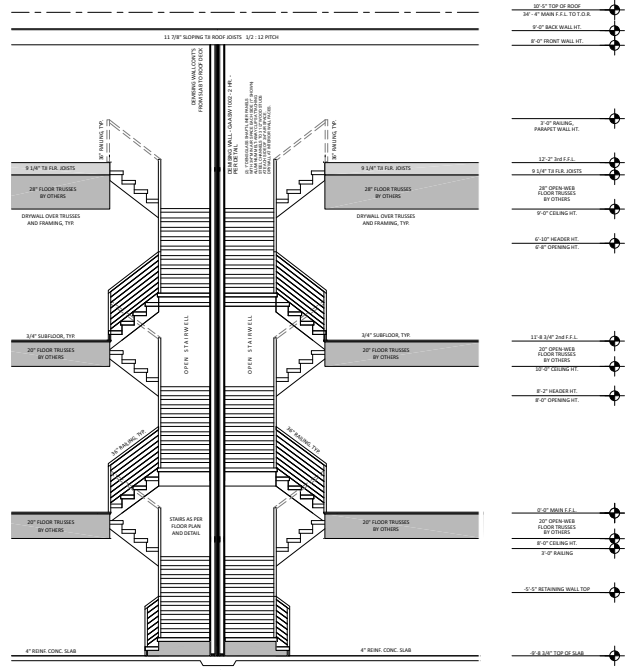
7-D-24-SU
 5/28/2024



1/A5 - Lots 182,18

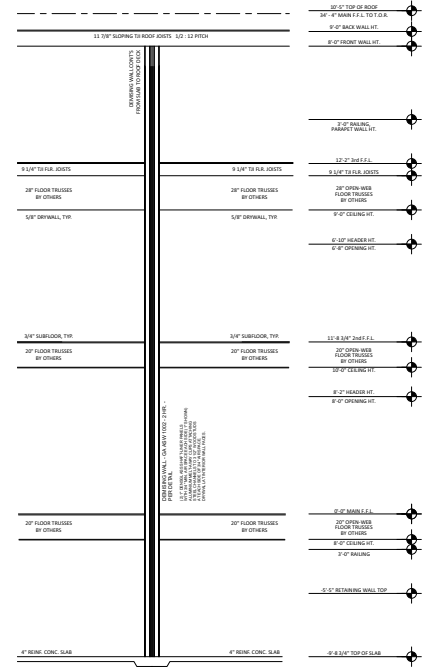
1/A5 - Lots 183,19

SECTION AT INT'R STAIRS, TYP.
SCALE: 3/16" = 1'-0"



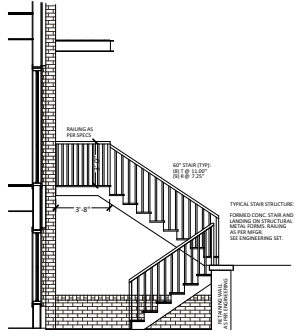
3/A5

SECTION AT STAIRWELL DEMISING WALL
SCALE: 1/4" = 1'-0"



4/A5

SECTION AT DEMISING WALL
SCALE: 1/4" = 1'-0"



2/A5

SECTION AT EXT'R STAIRS, TYP.
SCALE: 3/16" = 1'-0"

STRUCTURAL SECTION NOTES:
STRUCTURES AND TRUSSES SHOWN ARE FOR ILLUSTRATIVE PURPOSES ONLY.
REFER TO ENGINEERING DRAWINGS FOR STRUCTURAL DETAILS.
REFER TO TRUSS VENDOR'S DRAWINGS FOR TRUSS DETAILS.
ACTUAL TRUSSES MAY BE ORIENTED DIFFERENTLY THAN SHOWN.
REFER TO ENGINEERING DRAWINGS FOR FOUNDATION DETAILS.

7-D-24-SU
5/28/2024



Development Request

DEVELOPMENT

- Development Plan
- Planned Development
- Use on Review / Special Use
- Hillside Protection COA

SUBDIVISION

- Concept Plan
- Final Plat

ZONING

- Rezoning
- Plan Amendment
- Sector Plan
- City OYP / County Comp Plan

Mike Stevens Homes

Applicant Name Affiliation

5/29/2024 **7/11/2024** **7-D-24-SU**
 Date Filed Meeting Date (if applicable) File Number(s)

CORRESPONDENCE

All correspondence related to this application should be directed to the approved contact listed below.

Buck Bailey Mike Stevens Homes

Name / Company

9511 Bluegrass Rd Knoxville TN 37922

Address

971-227-2628 / buckbailey@mikestevenshomes.com

Phone / Email

CURRENT PROPERTY INFO

Buck Bailey Mike Stevens Homes	9511 Bluegrass Rd Knoxville TN 37922	971-227-2628 / buckbailey@mi
Owner Name (if different)	Owner Address	Owner Phone / Email

9426 9430, 9434, 9438 HORIZON DR

Property Address

154 F E 006,007 154FG020, 021	8423 square feet
Parcel ID	Tract Size

First Knox Utility District	First Knox Utility District	
Sewer Provider	Water Provider	Septic (Y/N)

STAFF USE ONLY

Southeast side of Horizon Dr, northeast of Cades Cove Rd

General Location

<input checked="" type="checkbox"/> City	Council District 2	RN-3(C) (General Residential Neighborhood), C-R-2(C) (Regional Commercial), HP (Hillside Protection Overlay)	Agriculture/Forestry/Vacant Land
<input type="checkbox"/> County	District	Zoning District	Existing Land Use

Southwest County	MU-CC (Community Mixed Use Center), HP (Hillside Protection)	N/A (Within City Limits)
Planning Sector	Land Use (City)/Place Type (County)	Growth Policy Plan Designation

DEVELOPMENT REQUEST

<input type="checkbox"/> Development Plan <input type="checkbox"/> Planned Development <input checked="" type="checkbox"/> Use on Review / Special Use	Related City Permit Number(s)
<input type="checkbox"/> Hillside Protection COA <input type="checkbox"/> Residential <input type="checkbox"/> Non-residential	
Home Occupation (specify) _____	
Other (specify) Increase the maximum height of a townhouse in the Northshore Town Center	

SUBDIVISION REQUEST

Proposed Subdivision Name	Related Rezoning File Number
Unit / Phase Number	
Additional Information _____	
<input type="checkbox"/> Attachments / Additional Requirements	

ZONING REQUEST

<input type="checkbox"/> Zoning Change	Proposed Zoning	Pending Plat File Number
<input type="checkbox"/> Plan Amendment	Proposed Plan Designation(s)	
Proposed Density (units/acre) Previous Rezoning Requests		
Additional Information _____		

STAFF USE ONLY

PLAT TYPE <input type="checkbox"/> Staff Review <input type="checkbox"/> Planning Commission	Fee 1	Total
ATTACHMENTS <input type="checkbox"/> Property Owners / Option Holders <input type="checkbox"/> Variance Request <input type="checkbox"/> Amendment Request (Comprehensive Plan)	\$450.00	
ADDITIONAL REQUIREMENTS <input type="checkbox"/> Use on Review / Special Use (Concept Plan) <input type="checkbox"/> Traffic Impact Study <input type="checkbox"/> COA Checklist (Hillside Protection)	Fee 2	
	Fee 3	

AUTHORIZATION

I declare under penalty of perjury the foregoing is true and correct: 1) He/she/it is the owner of the property, AND 2) the application and all associated materials are being submitted with his/her/its consent.

Applicant Signature	Mike Stevens Homes Please Print	5/29/2024 Date
Phone / Email		
Property Owner Signature	Buck Bailey Mike Stevens Homes Please Print	5/29/2024 Date



Development Request

DEVELOPMENT

- Development Plan
- Planned Development
- Use on Review / Special Use
- Hillside Protection COA

SUBDIVISION

- Concept Plan
- Final Plat

ZONING

- Plan Amendment
 - SP
 - PA
- Rezoning

Mike Stevens Homes

Applicant Name		Affiliation	
Buck Bailey	28 <i>May 28, 2024</i>		
Date Filed	Meeting Date (if applicable)	File Number(s)	
	7/11/2024	7-D-24-SU	

CORRESPONDENCE *All correspondence related to this application should be directed to the approved contact listed below.*

- Applicant
- Property Owner
- Option Holder
- Project Surveyor
- Engineer
- Architect/Landscape Architect

Buck Bailey, building designer		Mike Stevens Homes	
Name	Company		
9511 Bluegrass Rd.	Knoxville	TN	37922
Address	City	State	ZIP
(971) 227-2628	buckbailey@mikestevenshomes.com		
Phone	Email		

CURRENT PROPERTY INFO

Mike Stevens Homes	same as above		
Property Owner Name (if different)	Property Owner Address	Property Owner Phone	
Lots 181, 182, 18, 19 Northshore Towncenter	154FE006, 007 & 154FG020, 021		
Property Address 9426, 9430, 9434, & 9438 Horizon Dr	Parcel ID		
<i>First Ability District</i>	<i>same</i>	N	
Sewer Provider	Water Provider	Septic (Y/N)	

STAFF USE ONLY

General Location		Tract Size	
<input type="checkbox"/> City <input type="checkbox"/> County	District	Zoning District	Existing Land Use
Planning Sector	Land Use / Place Type CITY COUNTY	Growth Policy Plan Designation	

DEVELOPMENT REQUEST

- Development Plan Use on Review / Special Use Hillside Protection COA
 Residential Non-Residential

Related City Permit Number(s)

Home Occupation (specify)

Other (specify) Increase the maximum height of a townhouse

SUBDIVISION REQUEST

Related Rezoning File Number

Proposed Subdivision Name

Unit / Phase Number Combine Parcels Divide Parcel Total Number of Lots Created

Other (specify)

Attachments / Additional Requirements

ZONING REQUEST

Pending Plat File Number

Zoning Change
Proposed Zoning

Plan Amendment Change
Proposed Plan Designation(s)

Proposed Density (units/acre) Previous Rezoning Requests

Other (specify) ~~Height limit interpretation - increase as designed~~

STAFF USE ONLY

PLAT TYPE

- Staff Review Planning Commission

ATTACHMENTS

- Property Owners / Option Holders Variance Request
 Amendment Request (*Comprehensive Plan*)

ADDITIONAL REQUIREMENTS

- Use on Review / Special Use (*Concept Plan*)
 Traffic Impact Study
 COA Checklist (*Hillside Protection*)

Fee 1	Total
Fee 2	
Fee 3	

AUTHORIZATION

I declare under penalty of perjury the foregoing is true and correct:

1) He/she/it is the owner of the property AND 2) The application and all associated materials are being submitted with his/her/its consent


Applicant Signature

Mike Stevens Homes

Please Print

May 26, 2024
Date

971-227-2628
Phone Number

buck.bailey@mikestevenshomes.com
Email

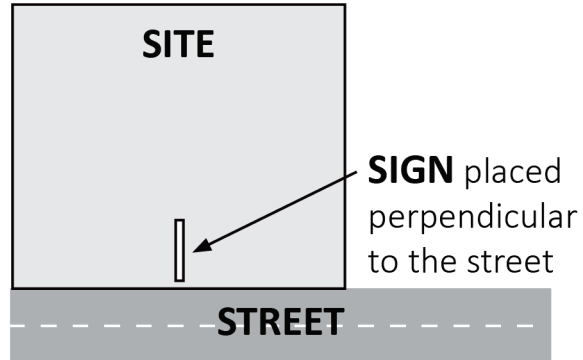

Property Owner Signature

MTC Holding -
Please Print

05/29/2024, SG

5-26-24
Date Paid

The Administrative Rules and Procedures of the Knoxville-Knox County Planning Commission require a sign to be posted on the property for each application subject to consideration by the Planning Commission, including the following applications: rezoning, plan amendment, concept plan, use on review/special use, planned development, right-of-way closure, and name change.



The required public notice sign(s) will be provided by Planning to the applicant when an application is submitted. If an application is submitted electronically, Planning staff will post the required sign. If a replacement sign(s) is needed, the applicant is responsible for picking up the new sign(s) from Planning and will be charged \$10 for each replacement.

LOCATION AND VISIBILITY

The sign must be posted on the nearest adjacent/frontage street and in a location clearly visible to vehicles traveling in either direction. If the property has more than one street frontage, the sign should be placed along the street that carries more traffic. Planning staff may recommend a preferred location for the sign to be posted at the time of application.

TIMING

The sign(s) must be posted **not less than 12 days prior to the scheduled Planning Commission public hearing** and must remain in place until the day after the meeting. In the case of a postponement, the sign can either remain in place or be removed and reposted not less than 12 days prior to the next Planning Commission meeting. The applicant is responsible for removing the sign after the application has been acted upon by the Planning Commission.

The individual below is responsible for posting and removing the sign(s) provided consistent with the above guidelines and between the dates of:

_____ 06/28/2024 _____ and _____ 07/12/2024 _____
 (applicant or staff to post sign) (applicant to remove sign)

Applicant Name: Mike Stevens Homes

Date: 05/29/2024

File Number: 7-D-24-SU

- Sign posted by Staff
- Sign posted by Applicant